



North American Housing Corp.

CORPORATE HEADQUARTERS

5724 INDUSTRY LANE FREDERICK, MD 21704
301-694-9100

FAIRVIEW

38-17291 & 17292

FOR

DISTINGUISHED HOMES

4/1/08



MD STATE CODES

2006 INTERNATIONAL RESIDENTIAL CODE WITH MD
AMENDMENTS
2006 INTERNATIONAL ENERGY CONSERVATION CODE
2005 NATIONAL ELECTRICAL CODE
2006 NFPA 101 LIFE SAFETY CODE WITH AMENDMENTS

DESIGN CRITERIA

CLASSIFICATION	R-3, Residential One- and Two-Family Dwelling
CONSTRUCTION TYPE	VB, Unprotected Wood Frame
EXPOSURE CATEGORY	B
SEISMIC CATEGORY	C
GROUND SNOW LOAD	40 psf
ROOF LIVE LOAD	40 psf
ROOF DEAD LOAD	10 psf
CEILING DEAD LOAD	5 psf
FLOOR LIVE LOAD	40 psf/30 psf
FLOOR DEAD LOAD	10 psf
WIND LOAD	90 mph (3 Sec. Gust)
DOOR & WINDOW INFILTRATION @ 25 MPH WIND	0.5 cfm/lf of Crack 1.0 cfm/sf of Door
THERMOSTAT CONTROL	45°F to 85°F at 80°F
ELECTRICAL RATING	200-AMP MAIN w/ 125 AMP SUB
INSTALLED R-VALUES	
ROOF:	R-30
WALLS:	R-13 & 3/4" FOAM
FLOOR:	R-19 (BY BUILDER)

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JOB REFERENCE: 746 CHICK ROAD

COUNTY: FREDERICK

STATE: MD

GENERAL NOTES

1. These drawings and the property rights that they represent are the exclusive property of North American Housing Corporation (hereafter referred to as "North American Housing" or "NAHC"). Any unauthorized use or reproduction of these drawings without the express, written consent of NAHC is strictly prohibited, and will be prosecuted to the fullest extent of the law.
2. For the purposes of these drawings, the "manufacturer" shall be NAHC. The term "Builder" refers to the purchaser of the house, and any and all subcontractors to that party, including other designers such as professional engineers and architects.
3. These plans shall not be scaled for construction purposes. Dimensions and notes supercede all graphic references.
4. All state and third-party insignia shall be located in the cabinet under the Kitchen sink, unless noted otherwise.
5. All standard exterior walls shall be constructed using 2x4 wall studs, unless noted otherwise. Doors, windows, lights and room sizes, etc. will be adjusted accordingly if the Builder chooses to have the exterior walls constructed with 2x6 studs, and the exterior wall insulation will be upgraded to R-19 batt insulation. Footprint dimensions are not affected by the exterior wall thickness.
6. Plans and specifications are subject to change without notice.
7. NAHC reserves the right to substitute materials at its sole option, without notice to the Buyer and without prejudice to the Seller.
8. It is the Builder's responsibility to obtain a set of As-Built drawings when the floor plan has been reversed. Reversed foundation plans are only provided with an accepted order.
9. All notes pertaining to the "field," "site," or "by others" are the Builder's obligations, and are subject to review, inspection and approval by the local code enforcement agency.
10. Any items listed as "loose" shall be shipped to the site by NAHC and installed by the Builder. These installations are subject to review, inspection and approval by the local code enforcement agency.
11. It is the Builder's responsibility to verify all site conditions prior to proceeding with any work for this house.
12. The Builder is responsible for completing the lower level of the home, as required to comply with the governing energy code requirements.
13. For houses erected over a basement, it is the Builder's responsibility to supply and install a smoke detector in the basement, in accordance with the local code requirements.
14. Windows and doors shown in the basement walls are not a part of the modular package, and are shown as suggestions only. Basement windows, if any, shall be sized, supplied and installed by the Builder, in accordance with the local code requirements, unless noted otherwise.
15. The Builder shall install minimum R-19 insulation in the first floor, or insulate the foundation walls in accordance with the local code requirements. This item is subject to review and approval by the local code enforcement agency.
16. All heat supply lines and ductwork in basements and crawl spaces shall be insulated in accordance with local code requirements. This item is subject to review and approval by the local code enforcement agency.
17. Crawl space ventilation requirements are estimated based on one square foot of vent for every 150 square feet of crawl space floor area. The Builder is required to meet this requirement, as directed by the local code enforcement agency.
18. Light and GFCI receptacle are required in the crawl space only if mechanical equipment is installed in the crawl space.
19. The Builder is responsible for maintaining a minimum distance of 6" between the bottom of the siding and the finished grade.
20. The Builder is responsible for all service entry connections and on-site testing, as required by the local jurisdiction.
21. If this house has been ordered with a detached garage, it is the Builder's responsibility to provide a minimum of 1-hour fire rated resistance to the walls of the garage if it is located within five (5) feet of this or any other dwelling or property line. This issue is subject to review and approval by the local code enforcement agency.

If the garage is to be located within two (2) feet of this or any other building or property line, it is the Builder's responsibility to provide a minimum of 1-hour fire rated resistance to the underside of the eave closest to the dwelling or property line. This issue is subject to review and approval by the local code enforcement agency.

22. The Builder is responsible for all wiring and interconnection of smoke alarms for the proposed addition, in accordance with Section R313.2.1 of the International Residential Code.
23. Due to handling restrictions and various other constraints, certain items must be shipped loose for installation in the field by others (eg. siding, bow and bay windows, front door for Split Foyer models, basement stairs, etc.). These items do not constitute a complete list. The Builder is advised to consult with his/her Regional Sales Manager (RSM) if he/she has any concerns regarding the house. Options selected and/or requested modifications made to the layout of the house may have an impact on which items can be installed and which items must be shipped loose.
24. Optional basement stairs, if requested by the Builder, shall be shipped loose for field installation by the Builder. Stairs and/or stair platforms that come in direct contact with the concrete floor slab shall be set on polyethylene sheeting with a minimum 6-mil thickness. Any and all material required for enclosure and finishing of the basement stairwell shall be supplied and installed by the Builder.
25. Rough openings in the exterior walls of this building have been provided for the Builder's site-installed windows and/or doors. An assumed U-value of 0.5 has been assumed for the rough openings in determining the energy compliance of this house. It is the Builder's responsibility to ensure that the windows and/or doors installed on site meet or exceed this requirement, or provide adequate proof to the local building code authority that the house will meet all energy compliance standards.

FOUNDATION NOTES

1. The foundation plan shown is provided as a courtesy to the Builder in order to establish the footprint dimensions and bearing locations for this house. **NAHC is not responsible for the design and/or construction of the foundation for this house.**
2. The Builder is responsible for having the foundation for this house, including, but not limited to, footings, foundation walls, any and all associated reinforcing, sill plates, anchor bolts or straps, drainage, dampproofing and concrete floor slabs, designed by a licensed Professional Structural or Geotechnical Engineer who is registered in the jurisdiction where the house is to be permanently located, as required by the local code enforcement agency.
3. The Builder is responsible for all inspections pertaining to the foundation of this house.
4. Sillcock, vents, access panel, basement sash, and entry way are to be determined in the field, by the Builder.
5. Any modifications requiring foundation adjustments are the sole responsibility of the Builder, including, but not limited to sizing and/or location of piers, columns or structural steel.
6. Footing sizes and locations are approximate, and are based on an assumed soil bearing capacity of 2,000 pounds per square foot. The Builder is responsible for having this information verified by a locally registered Professional Geotechnical Engineer, as required by the local code enforcement agency.
7. The 28-day compressive strength of the concrete for all footings, slabs, and foundation walls shall comply with Table R402.2 of the International Residential Code. Under no circumstances shall the compressive strength of the foundation concrete be less than 2,500 pounds per square inch. The Builder is responsible for providing proof of the foundation concrete compressive strength to the local building inspection agency, such as a receipt for delivery of an approved concrete mix or certified results from testing of concrete test cylinders taken directly from each batch of concrete used for this project. The local building inspection agency shall determine the acceptability of the concrete used and proof of its compressive strength.
8. All masonry shall be laid using either type 'M' or type 'S' mortar.
9. The foundation shall be designed in accordance with all state and local codes, to suit soil conditions specific to the project site.
10. Footings shall be placed in accordance with the foundation designer's details, notes, and recommendations, and shall bear on undisturbed soil, unless noted otherwise.

11. The bottom of all exterior footings shall be located at or below the frost line protection depth for the jurisdiction in which the house is to be permanently located.
12. Any loads shown on the foundation plan are at the top of the sill plate. The Builder is responsible for determining any additional loading that may affect the size of the footings.
13. Foundation drainage and dampproofing shall conform to local code requirements.
14. All foundations and backfill, including but not limited to unbalanced backfill against foundation walls, drainage and dampproofing, shall be designed by others, in accordance with Chapter 4 of the International Residential Code.

STRUCTURAL NOTES

1. All dimensional wood members shall be SPF No. 2 or better, unless noted otherwise.
2. All beams designated by "LVL" shall be 1 1/2" thick laminated veneer lumber (E = 2,000 ksi), unless noted otherwise.
3. All exterior wall framing shall consist of 2x4 or 2x6 SPF Stud grade wall studs at 16" on center, with a single bottom plate and a double top plate, unless noted otherwise. Top and bottom wall plates shall consist of SPF No. 2 or better. Exterior sheathing shall consist of 7/16" OSB sheathing attached to the wall studs with 0.113"Ø x 2" long nails or 7/16" x 1 1/2" x 16 gage staples; or 1/8" structural sheathing attached to the wall studs with 1 1/4" leg x 16 gage staples.
4. All mating wall framing shall consist of 2x4 SPF Stud grade wall studs at 16" on center (12" on center for three-story models), with a single base plate and a double top plate, unless noted otherwise.
5. All interior partition wall framing shall consist of 2x4 SPF Stud grade wall studs with single bottom and top plates, unless noted otherwise.
6. All ceiling framing shall consist of 2x6 ceiling joists at 24" on center, unless noted otherwise.
7. All floor framing shall consist of 9 3/8" prefabricated floor trusses at 19.2" on center or 2x10 dimensional wood joists at 16" on center, unless noted otherwise.
8. All exterior wall headers for 2x4 walls shall consist of 2 - 2x10 dimensional wood joists with one 2x4 jack stud and one 2x4 king stud at each end, unless noted otherwise. All exterior wall headers for 2x6 walls shall consist of 3 - 2x10 dimensional wood joists with one 2x6 jack stud and one 2x6 king stud at each end, unless noted otherwise. Refer to the current calculations manual for all header sizes.
9. All mating wall headers shall consist of 2 - 2x10 dimensional wood joists with one 2x4 jack stud and one 2x4 king stud at each end, unless noted otherwise. Refer to the current calculations manual for all header sizes.
10. All floor sheathing shall be 3/4" nominal thickness tongue and groove plywood or OSB 48/24 agency-rated sheathing or 24" agency-rated floor sheathing, attached to the top of the floor joists using nails or screws and construction adhesive.

SPRINKLER NOTES

1. The sprinkler system for this house has been designed by others, and partially installed by NAHC. NAHC will install only the riser and supply pipes for the first floor. If applicable, the pipes will be stubbed up for connection to the second floor and down for connection to the basement (as required). Drywall will be held off in order to permit the first-to-second floor connections. All sprinkler heads, second floor riser and supply pipes, and basement supply lines shall be installed on site, by the Builder, who is responsible for any on-site modifications made to these modular units in order to bring the complete sprinkler system into compliance with NFPA and/or local code requirements.
2. NAHC has performed an intermediate pressure test of the factory-installed portions of this sprinkler system, in accordance with NFPA 13. It is the Builder's responsibility to perform a final pressure test on the completed sprinkler system, to the satisfaction of the local code enforcement agency.

3. The data plate for this home shall reflect the following:

"It is the sole responsibility of the local code enforcement agency(ies) to inspect the on-site portion(s) of the sprinkler system, and to ensure that it complies with NFPA and/or local standards. The State and PFS insignia do not certify the on-site portion(s) of the sprinkler system."

LOCAL INSPECTIONS

1. Refer to all other notes in this drawing package for additional items, not listed below, that may also be subject to review and approval by the local code enforcement agency.
2. The following items are subject to review, inspection and approval by the local code enforcement agency:
- 2.1. All site work
- 2.2. Footings
- 2.3. Foundations
- 2.4. Module connections to the foundation
- 2.5. Module-to-module structural connections
- 2.6. Ridge board and extension panel connections, when applicable
- 2.7. Interconnection of electrical and plumbing systems between modules, and to the main service for each system
- 2.8. Interconnection of sprinklers between modules, as required
- 2.9. Interconnection of smoke detectors between modules and between the modular units and an existing structure, if applicable.

SHEET NO.
2 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
NOTES

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
301-694-9100
FREDERICK, MD 21704



DRAWN: DLE
DATE: 4/1/08

SCALE:

N/A

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

4			
3			
2			
1			
REV. #	AS-BUILT PERMIT SET	4/1/08	DLE
	REMARKS	DATE:	DRAWN:

THIS PLAN HAS
ALREADY
BEEN REVERSED

SHEET NO.
3 of 21

MODEL:
FAIRVIEW &
38-17291 &
17292

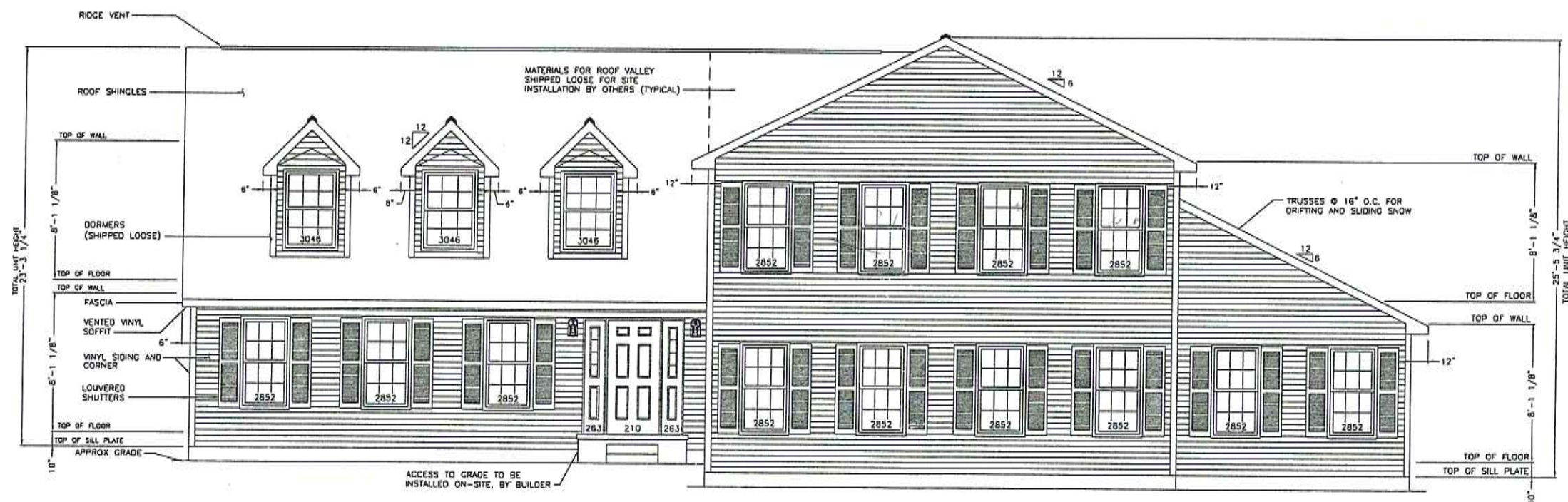
DRAWING:
FRONT
ELEVATION

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

SCALE:
1/8"



FRONT ELEVATION

RSM: KT

STATE: MD

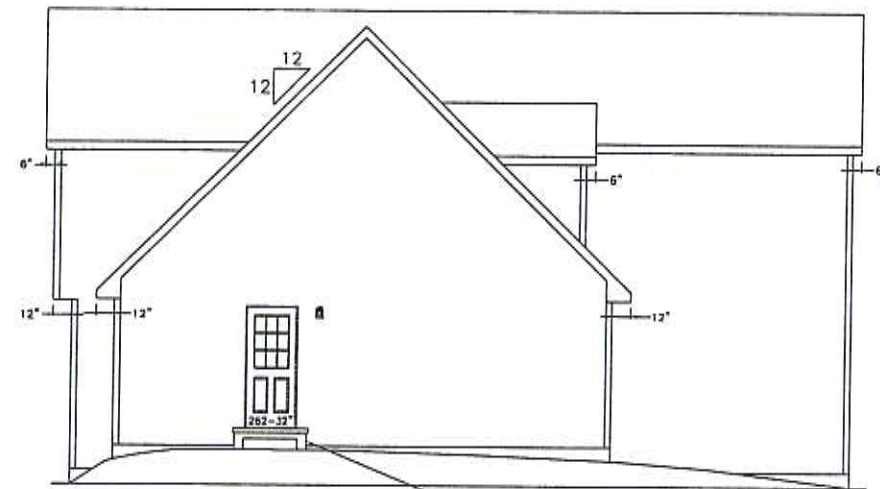
CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

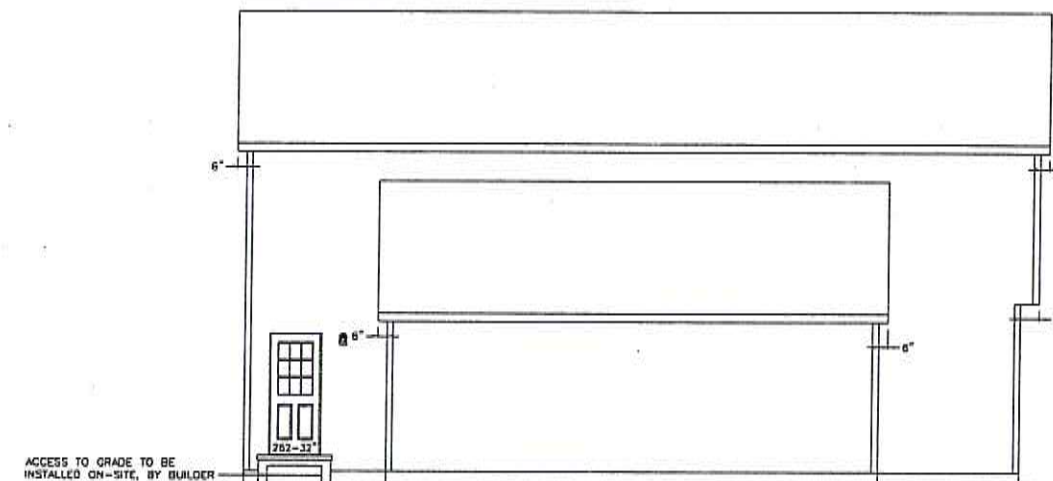
JOB REF: 746 CHICK ROAD

4			
3			
2			
1			
REV. #	AS-BUILT PERMIT SET	4/1/08	DLE
	REMARKS	DATE:	DRAWN:

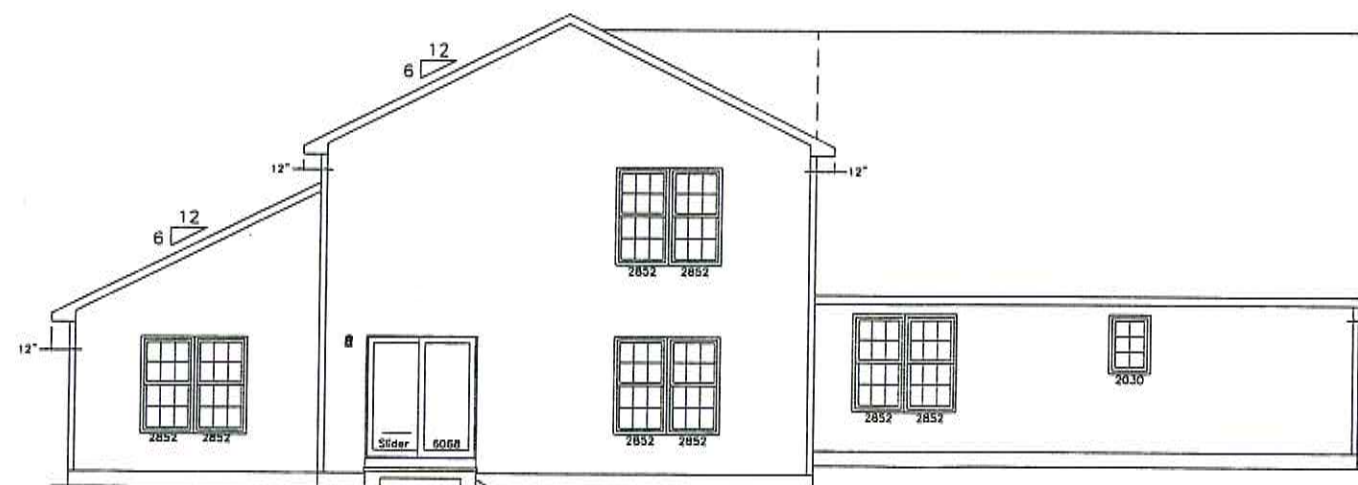
THIS PLAN HAS
ALREADY
BEEN REVERSED



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

SHEET NO.
4 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
REAR & SIDE
ELEVATIONS

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5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

SCALE:
3/32"

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

THIS PLAN HAS
ALREADY
BEEN REVERSED

GENERAL NOTES:

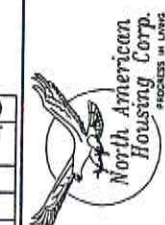
1. SEE NOTES SHEET FOR IMPORTANT STRUCTURAL INFORMATION.
2. ALL HEATING AND AIR CONDITIONING EQUIPMENT AND MATERIALS SHALL BE SUPPLIED AND INSTALLED BY THE BUILDER. NAHC IS NOT RESPONSIBLE FOR THE DESIGN OR INSTALLATION OF THE HVAC EQUIPMENT FOR THIS HOUSE.

SHEET NO.
5 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

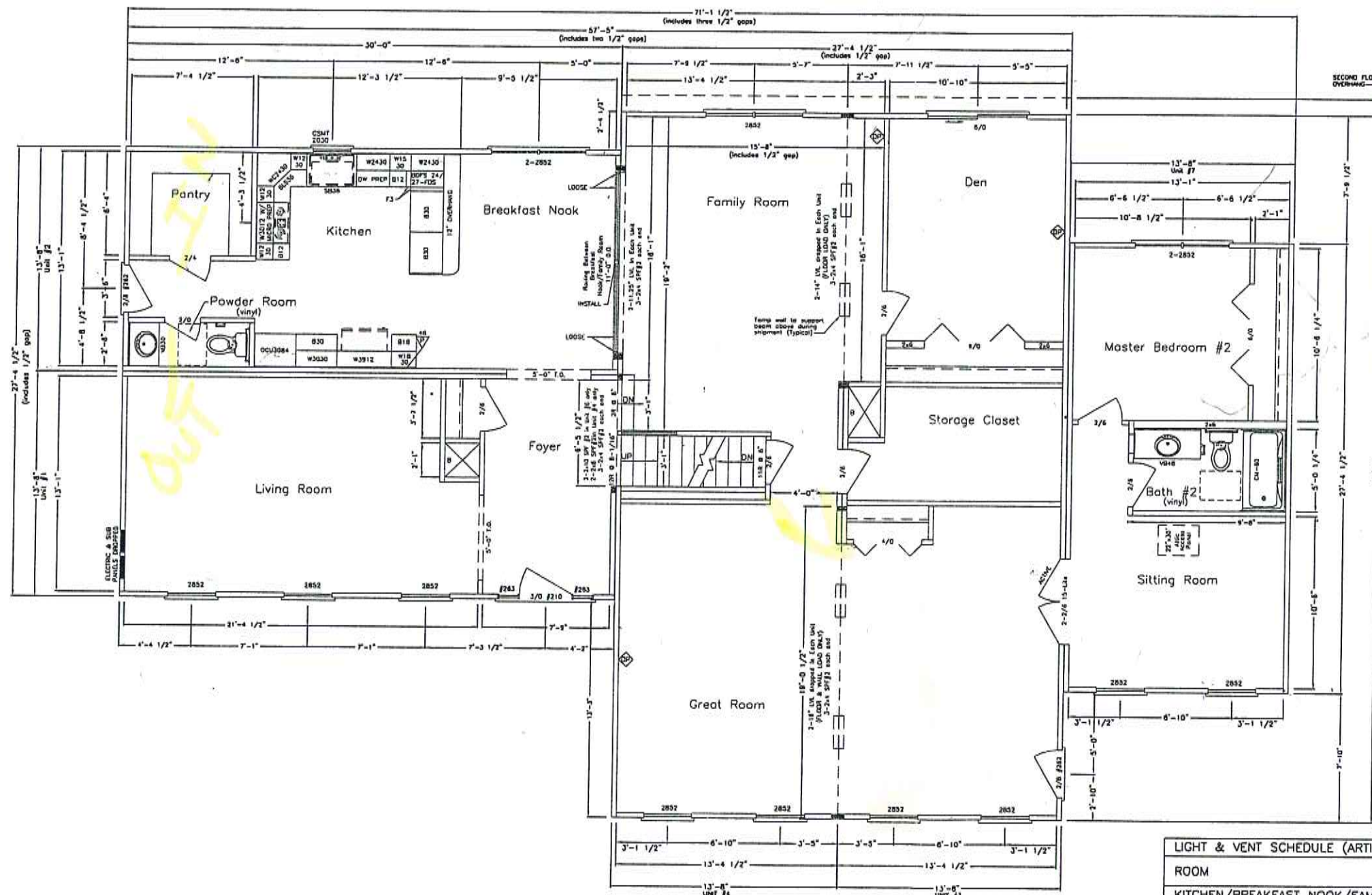
DRAWING:
FIRST FLOOR
PLAN

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

SCALE:
1/8"



MD STATE CODES

- 2006 INTERNATIONAL RESIDENTIAL CODE WITH MD AMENDMENTS
- 2006 INTERNATIONAL ENERGY CONSERVATION CODE
- 2005 NATIONAL ELECTRICAL CODE
- 2006 NFPA 101 LIFE SAFETY CODE WITH AMENDMENTS

LIGHT & VENT SCHEDULE (ARTIFICIAL LIGHT & VENT IN KITCHEN NOT INCLUDED IN CALCULATIONS)					
ROOM	SQ. FT	REQ. LIGHT SQ. FT	ACT. LIGHT SQ. FT	REQ. VENT SQ. FT	ACT. VENT SQ. FT
KITCHEN/BREAKFAST NOOK/FAMILY	521.53	41.72	46.30	20.86	27.36
LIVING ROOM	264.71	21.18	31.80	10.59	17.82
GREAT ROOM	490.52	39.24	47.85	19.62	41.54
DEN	146.70	11.74	21.21	5.87	11.88
MASTER BEDROOM	263.07	21.05	21.21	10.52	11.88
BEDROOM #2	175.69	14.06	21.21	7.03	11.88
BEDROOM #3	132.21	10.58	21.20	5.29	11.88
MASTER BEDROOM #2	112.66	9.01	21.20	4.51	11.88
SITTING ROOM	156.10	12.49	21.20	6.24	11.88

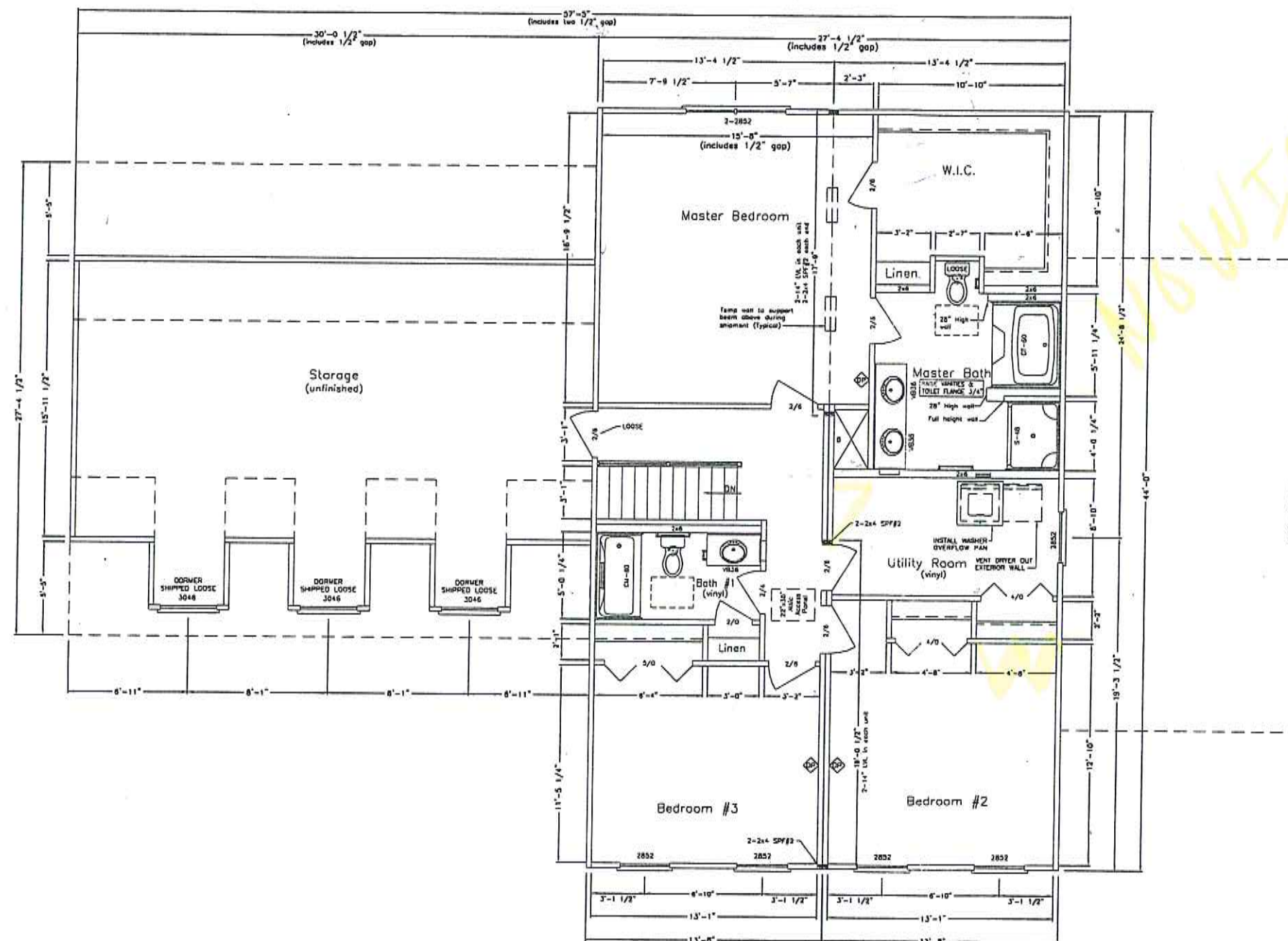
REV. #	REMARKS	DATE	DRAWN
4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE

FIRST FLOOR PLAN

RSM: KT STATE: MD CO: FREDERICK BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

THIS PLAN HAS
ALREADY
BEEN REVERSED



GENERAL NOTES:

1. SEE NOTES SHEET FOR IMPORTANT STRUCTURAL INFORMATION.
2. ALL HEATING AND AIR CONDITIONING EQUIPMENT AND MATERIALS SHALL BE SUPPLIED AND INSTALLED BY THE BUILDER. NAHC IS NOT RESPONSIBLE FOR THE DESIGN OR INSTALLATION OF THE HVAC EQUIPMENT FOR THIS HOUSE.
3. IF UNFINISHED SPACE IS TO BE HABITABLE, IT BECOMES THE SOLE RESPONSIBILITY OF OTHERS TO MEET LIGHT/VENT & EGRESS CODE REQUIREMENTS OF THAT AREA.
4. BUILDER'S RESPONSIBLE FOR STAIRS ON-SITE BETWEEN HALLWAY AND STORAGE.

SHEET NO.
6 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
SECOND FLOOR
PLAN

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
301-694-9100
FREDERICK, MD 21704



DRAWN:
DLE
DATE:
4/1/08

SCALE:
1/18"

SECOND FLOOR PLAN

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

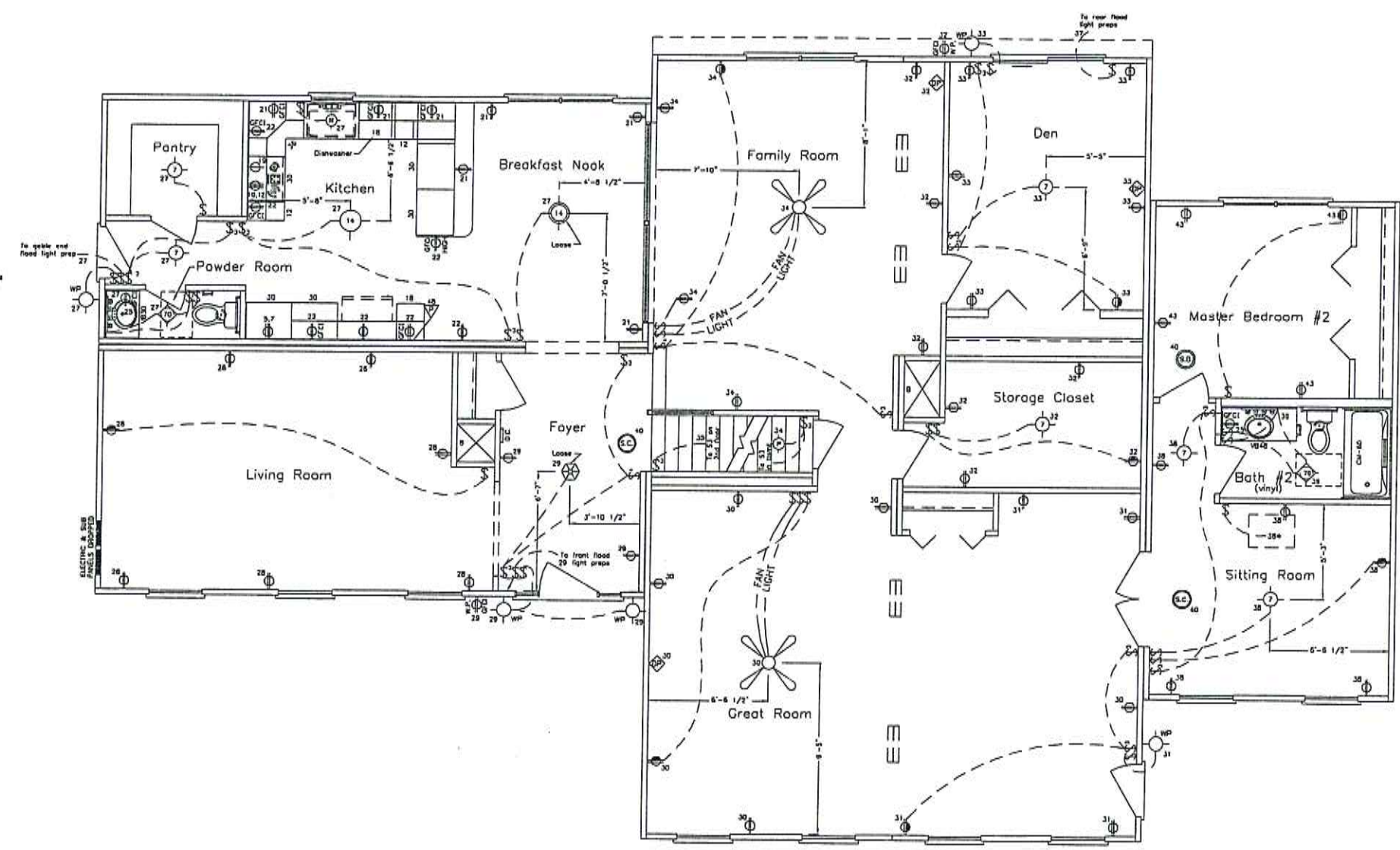
JOB REF: 746 CHICK ROAD

MD STATE CODES

2006 INTERNATIONAL RESIDENTIAL CODE WITH MD AMENDMENTS
2006 INTERNATIONAL ENERGY CONSERVATION CODE
2005 NATIONAL ELECTRICAL CODE
2006 NFPA 101 LIFE SAFETY CODE WITH AMENDMENTS

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

THIS PLAN HAS
ALREADY
BEEN REVERSED



- NOTES:
1. ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMPERE OUTLETS IN BEDROOMS ARE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
 2. * = COL 20' OF WIRE IN ATTIC FOR LIGHT ABOVE ACCESS (PORCELAIN FIXTURE).

SHEET NO.
14 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
FIRST FLOOR
ELECTRICAL PLAN

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100

North American
Housing Corp.
PRODUCED IN U.S.A.

DRAWN:
DLE

DATE:
4/1/08

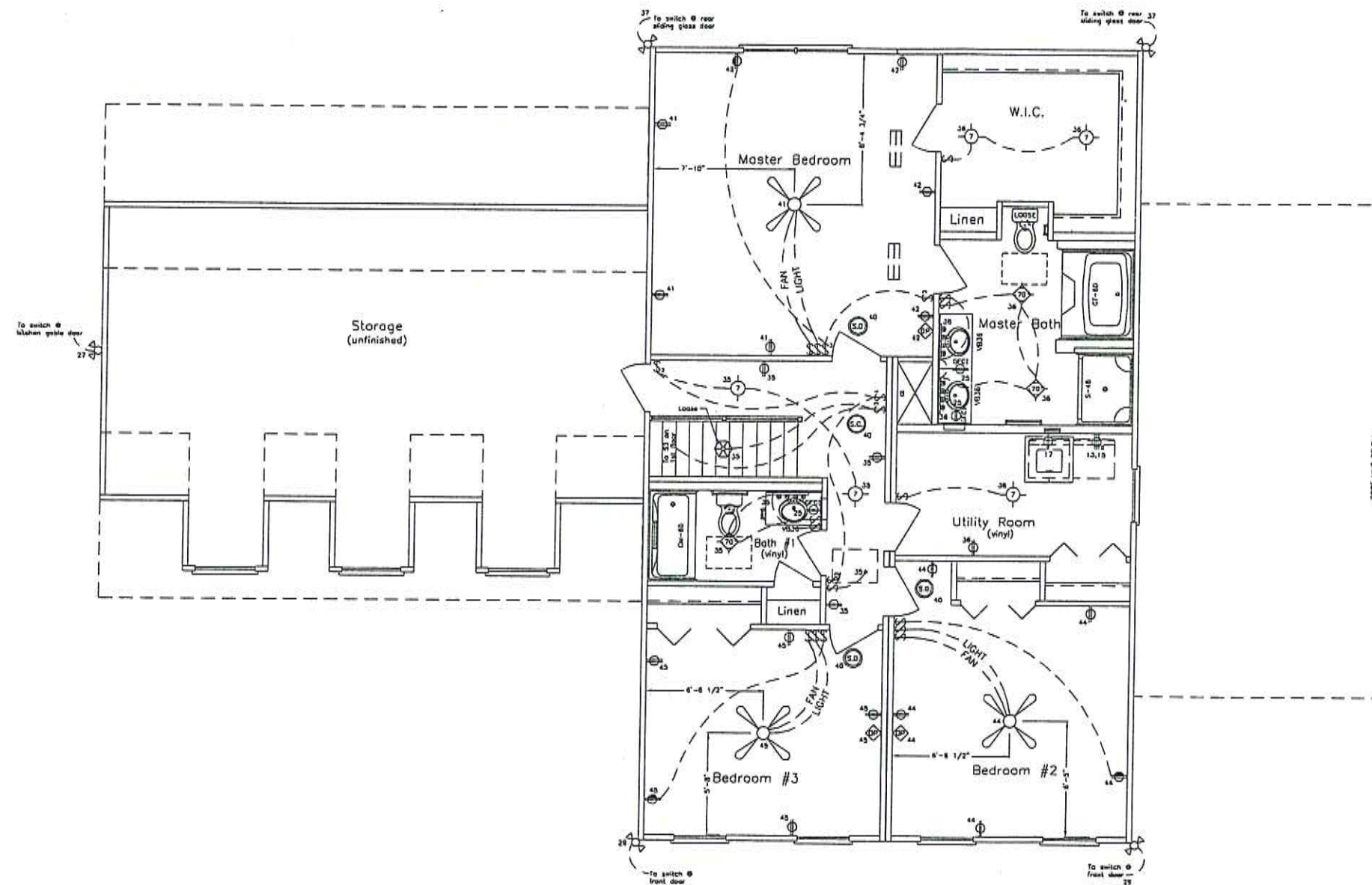
SCALE:
1/8"

FIRST FLOOR ELECTRICAL PLAN

RSM: KT	STATE: MD	CO: FREDERICK	BUILDER: DISTINGUISHED HOMES	JOB REF: 746 CHICK ROAD
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4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

THIS PLAN HAS
ALREADY
BEEN REVERSED



- NOTES:
1. ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMPERE OUTLETS IN BEDROOMS ARE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
 2. * = COIL 20' OF WIRE IN ATTIC FOR LIGHT ABOVE ACCESS (PORCELAIN FIXTURE).

SHEET NO.
15 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
SECOND FLOOR
ELECTRICAL PLAN

North American Housing Corp.
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5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

SCALE:
1/8"

SECOND FLOOR ELECTRICAL PLAN

RSM: KT STATE: MD CO: FREDERICK BUILDER: DISTINGUISHED HOMES JOB REF: 746 CHICK ROAD

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

MODEL:
FAIRVIEW
38-17291 &
17292DRAWING:
ELECTRICAL
SCHEDULENorth American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100DRAWN:
DLE
DATE:
4/1/08SCALE:
N/A

SYMBOL LEGEND

SYMBOL	MEANING	SYMBOL	MEANING	SYMBOL	MEANING
	RECESSED CAN LIGHT		PHONE JACK 14\"/>		SWITCH
	WATER AREA RECESSED CAN LIGHT		PHONE JACK 40\"/>		3-WAY SWITCH
	PORCELAIN FIXTURE		PHONE JACK 48 3/4\"/>		4-WAY SWITCH
	CEILING BOX SINGLE SWITCH (14-2)		PHONE JACK 54\"/>		SWITCHED LINE
	CEILING BOX SINGLE SWITCH (14-3)		CABLE TV OUTLET 14\"/>		COIL WIRE
	CEILING BOX DOUBLE SWITCH (14-2)		CABLE TV OUTLET 40\"/>		SMOKE DETECTOR (CEILING)
	FOYER CHANDELIER (STD 5231-02)		CABLE TV OUTLET 48 3/4\"/>		COMBINED SMOKE/CARBON MONOXIDE DETECTOR (CEILING)
	DINING ROOM CHANDELIER (STD 3410-02)		DATA PORT w/ DUPLEX OUTLET, CAT-5 WIRE, AND RG-6 COAX		COMBINED SMOKE/CARBON MONOXIDE DETECTOR (WALL)
	14\"/>		ELECTRICAL LOAD PANEL		SMOKE DETECTOR (WALL)
	7\"/>		RECEPTACLE		DOOR CHIME
	14\"/>		SWITCHED RECEPTACLE 1/2 HOT		THERMOSTAT
	EXTERIOR COACHLIGHT		GFCI RECEPTACLE		SPOTLIGHT PREP
	24\"/>		WEATHERPROOF RECEPTACLE		RANGE HOOD FAN/LIGHT
	18\"/>		FLOOR RECEPTACLE		70 CFM BATH FAN/LIGHT
	24\"/>		RANGE RECEPTACLE		100 CFM BATH FAN/LIGHT
	18\"/>		DRYER RECEPTACLE		FAN/LIGHT/HEAT COMBO
	18\"/>		MICROWAVE RECEPTACLE		CLOSET FLUORESCENT LIGHT PREP
	18\"/>		WHIRLPOOL RECEPTACLE		2\"/>
	18\"/>				BASEBOARD HEAT FOOTAGE PER EACH

TYPICAL HOUSE UNDER 4,000 SQ FT
RESIDENTIAL ELECTRIC LOAD CALCULATIONS
PER NEC TABLE 220-30GENERAL DATA:
TOTAL SQ. FT.: 4,000
NO. OF FLOORS: TWO
SIZE OF MAIN: 200 AMP. MAIN & 125 AMP. SUB

- A. LIGHTING 12,000 S.F. @ 3 WATTS/S.F. = 12,000 WATTS
B. SMALL APPLIANCE CIRCUIT 3 @ 1500 WATTS EA = 4,500 WATTS
C. RANGE (SIZE: 12 KV) = 12,000 WATTS
D. LAUNDRY 1 @ 1500 WATTS EA = 1,500 WATTS
E. WATER HEATER 4500 WATTS @ 125% = 5,625 WATTS
F. DRYER (SIZE 5.6 KV) = 5,600 WATTS
G. DISPOSAL (RATING 6 AMPS) = 720 WATTS
H. DISHWASHER = 1,500 WATTS
I. SPARE CIRCUIT (20 AMP) 1 @ 1500 WATTS EA = 1,500 WATTS
SUBTOTAL = 44,945 WATTS
- A. FIRST 10,000 WATTS @ 100% = 10,000 WATTS
B. REMAINDER @ 40% = 13,978 WATTS
- A. HEATING/ AIR CONDITIONING = 10,000 WATTS

TOTAL WATTAGE OF FEEDER:
10,000 + 13,978 + 10,000 = 33,978 WATTS
33,978/240 = 142 AMPS

NOTE:

ALL HEATING AND AIR CONDITIONING EQUIPMENT AND MATERIALS SHALL BE SUPPLIED AND INSTALLED BY THE BUILDER. NAHC IS NOT RESPONSIBLE FOR THE DESIGN OR INSTALLATION OF THE HVAC EQUIPMENT FOR THIS HOUSE.

LOAD PANEL CIRCUIT DESIGNATION SHEET

40 CIRCUIT PANEL

MODEL TYPE: SINGLE FAMILY

MAIN BUSS: 200 AMPS
VOLTAGE: 120/240 VOLTS
PHASE: SINGLE PHASE
HERTZ: 60 HZ
AIC RMS: 22,000 AMPSPANEL FEEDER WIRE SIZING: # 2/0 AVG COPPER OR # 4/0 AVG ALUMINUM (TYPE SE-STYLE SER)
FEEDER OVERCURRENT PROTECTION: 200 AMP MAIN BREAKER DISCONNECT LOCATED IN PANEL (SEE NOTE A-1)

CIRCUIT DESCRIPTION	WIRE SIZE	BRKRS A/P	CIRCUIT NUMBERS	CIRCUIT DESCRIPTION	WIRE SIZE	BRKRS A/P
			1 2	SUB-PANEL	6/4 W/GND	100/2
			3 4			
DOUBLE WALL OVEN	8/3 W/GND	50/2	5 6			
"	"	"	7 8			
			9 10	COOKTOP	10/3 W/GND	30/2
			11 12			
CLOTHES DRYER	10/3 W/GND	30/2	13 14			
"	"	"	15 16			
CLOTHES WASHER	12/2 W/GND	20/1	17 18	DISHWASHER	12/2 W/GND	20/1
MICROWAVE	12/2 W/GND	20/1	19 20			
KIT. SMALL APPL.	12/2 W/GND	20/1	21 22	KIT. SMALL APPL.	12/2 W/GND	20/1
			23 24			
BATHROOMS	12/2 W/GND	20/1	25 26			
LIGHTING/OUTLETS	14/2 W/GND	15/1	27 28	LIGHTING/OUTLETS	14/2 W/GND	15/1
LIGHTING/OUTLETS	14/2 W/GND	15/1	29 30	LIGHTING/OUTLETS	14/2 W/GND	15/1
LIGHTING/OUTLETS	14/2 W/GND	15/1	31 32	LIGHTING/OUTLETS	14/2 W/GND	15/1
LIGHTING/OUTLETS	14/2 W/GND	15/1	33 34	LIGHTING/OUTLETS	14/2 W/GND	15/1
LIGHTING/OUTLETS	14/2 W/GND	15/1	35 36	LIGHTING/OUTLETS	14/2 W/GND	15/1
LIGHTING/OUTLETS	14/2 W/GND	15/1	37 38	LIGHTING/OUTLETS	14/2 W/GND	15/1
LIGHTING/OUTLETS	14/2 W/GND	15/1	39 40	SMOKE DET/ARC-FAULT	14/3 W/GND	15/1

NOTE: THE BUILDER IS TO SUPPLY & INSTALL ANY OTHER BREAKERS/WIRE NEEDED TO FINISH THE HOUSE.
NORTH AMERICAN HOUSING WILL PROVIDE BREAKERS FOR THE CIRCUITS THAT ARE INSTALLED IN THE PLANT.

LOAD PANEL CIRCUIT DESIGNATION SHEET

24 CIRCUIT
SUB PANEL

MODEL TYPE: SINGLE FAMILY

MAIN BUSS: 125 AMPS
VOLTAGE: 120/240 VOLTS
PHASE: SINGLE PHASE
HERTZ: 60 HZ
AIC RMS: 22,000 AMPSPANEL FEEDER WIRE SIZING: 6/4 FEEDER CABLE FROM MAIN PANEL
FEEDER OVERCURRENT PROTECTION: 100 AMP MAIN BREAKER DISCONNECT LOCATED IN MAIN PANEL (SEE NOTE A-1)

CIRCUIT DESCRIPTION	WIRE SIZE	BRKRS A/P	CIRCUIT NUMBERS	CIRCUIT DESCRIPTION	WIRE SIZE	BRKRS A/P
BEDROOM/ARC-FAULT	14/2 W/GND	15/1	41 42	BEDROOM/ARC-FAULT	14/2 W/GND	15/1
BEDROOM/ARC-FAULT	14/2 W/GND	15/1	43 44	BEDROOM/ARC-FAULT	14/2 W/GND	15/1
BEDROOM/ARC-FAULT	14/2 W/GND	15/1	45 46			
			47 48			
			49 50			
			51 52			
			53 54			
			55 56			
			57 58			
			59 60			
			61 62			
			63 64			

NOTE: THE BUILDER IS TO SUPPLY & INSTALL ANY OTHER BREAKERS/WIRE NEEDED TO FINISH THE HOUSE.
NORTH AMERICAN HOUSING WILL PROVIDE BREAKERS FOR THE CIRCUITS THAT ARE INSTALLED IN THE PLANT.

RSM: KT

STATE: MD

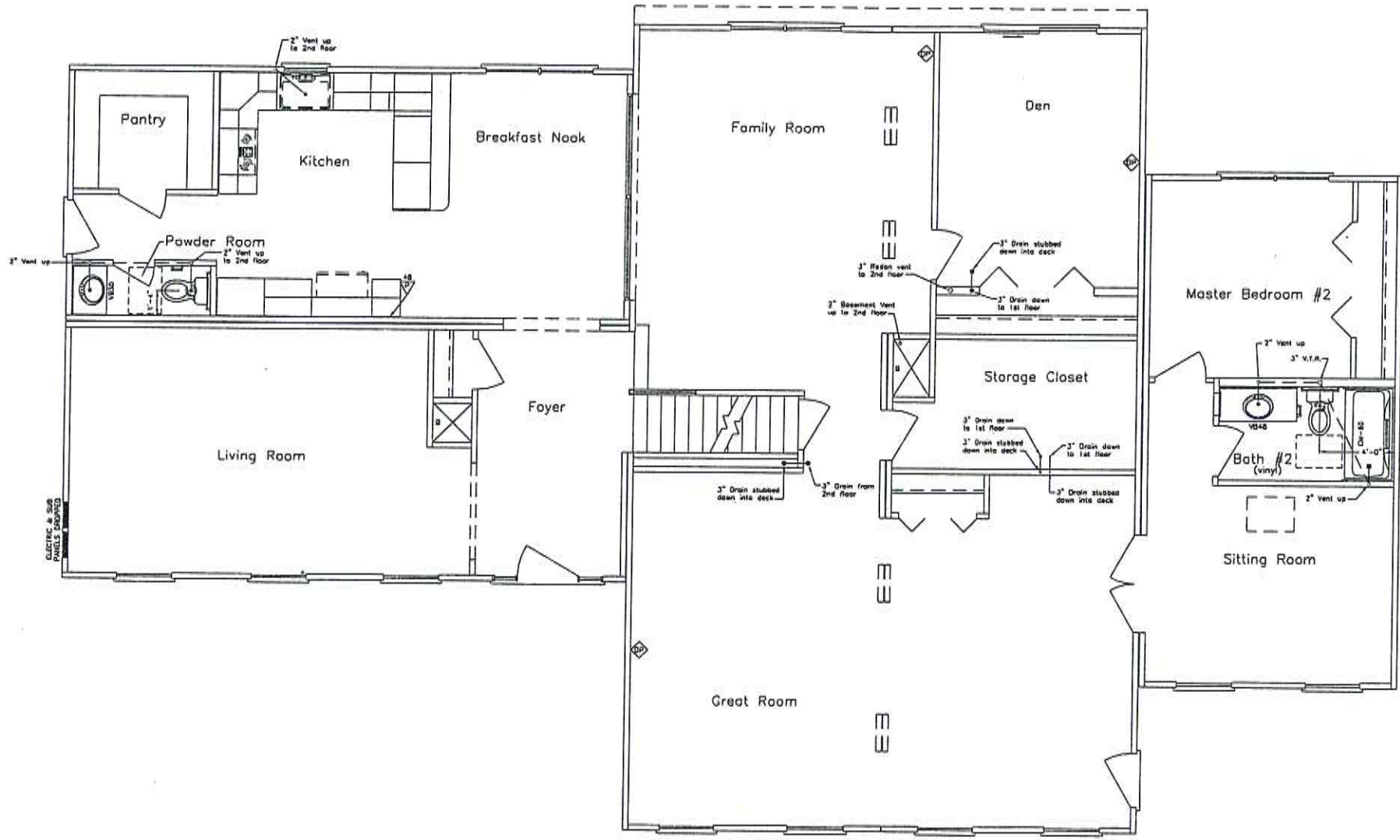
CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

4			
3			
2			
1			
REV. #	AS-BUILT PERMIT SET	4/1/08	DLE
	REMARKS	DATE:	DRAWN:

THIS PLAN HAS
ALREADY
BEEN REVERSED



- NOTES:
- 1. RADON VENT SHALL NOT BE CONNECTED TO HOUSE PLUMBING.
 - 2. CONNECTION OF WASH BOX DRAIN TO HOUSE DRAIN SHALL BE MADE IN ACCORDANCE WITH SECTION 406.3 OF THE INTERNATIONAL PLUMBING CODE SHALL BE MADE ON-SITE BY BUILDER.
 - 3. WATER HEATER IS SUPPLIED AND INSTALLED ON-SITE BY BUILDER PER LOCAL CODE.
 - 4. IT IS THE BUILDER'S RESPONSIBILITY TO INSTALL THE SPRINKLER SYSTEM FOR THIS HOUSE, AS DESIGNED BY A CERTIFIED SPRINKLER DESIGNER, IN ACCORDANCE WITH THE LOCAL CODE REQUIREMENTS. THE FIRST FLOOR CEILING SPRINKLER SYSTEM SHALL BE INSTALLED ON SITE BY A CERTIFIED SPRINKLER INSTALLER, IN ACCORDANCE WITH THE SPRINKLER DESIGN, AND APPROVED BY THE LOCAL INSPECTOR PRIOR TO THE INSTALLATION OF THE SECOND FLOOR BOXES. ALL CONNECTIONS SHALL BE MADE ABOVE THE FIRST FLOOR FINISHED DRYWALL CEILING. FOR TWO- AND THREE-STORY HOUSES, A CHASE HAS BEEN PROVIDED FOR RISERS TO THE UPPER FLOOR(S) OF THE HOUSE. SEE FLOOR PLAN FOR CHASE LOCATIONS.

SHEET NO.
17 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
FIRST FLOOR
PLUMBING PLAN

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5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100

North American
Housing Corp.
PROCESS IN USE

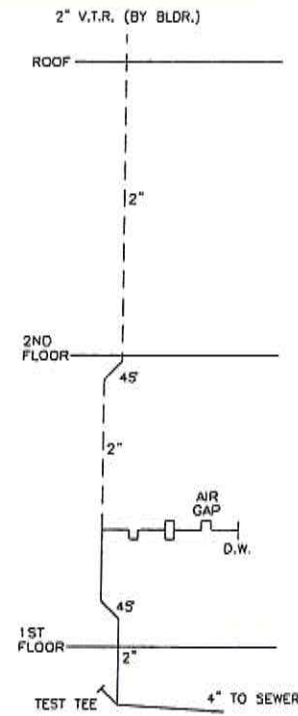
DRAWN:
DLE

DATE:
4/1/08

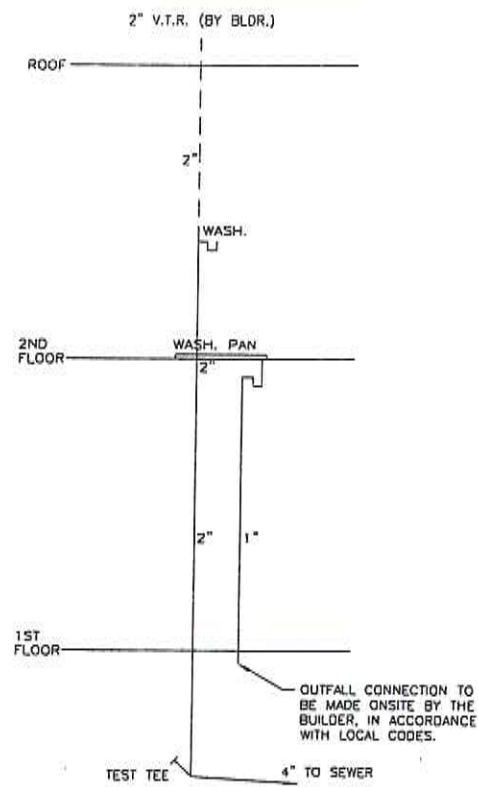
SCALE:
1/8"

FIRST FLOOR PLUMBING PLAN

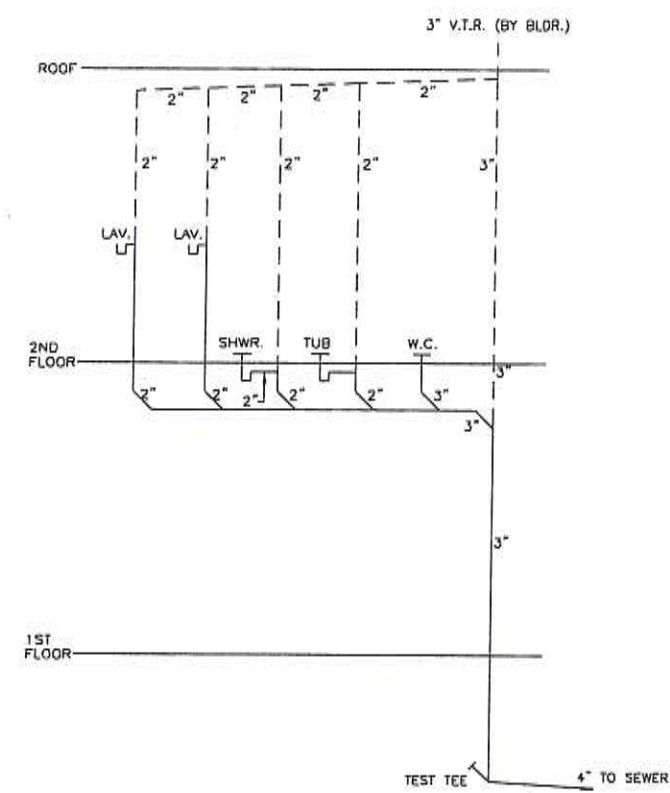
RSM: KT	STATE: MD	CO: FREDERICK	BUILDER: DISTINGUISHED HOMES	JOB REF: 746 CHICK ROAD	4			
					3			
					2			
					1	AS-BUILT PERMIT SET	4/1/08	DLE
					REV. #	REMARKS	DATE:	DRAWN:



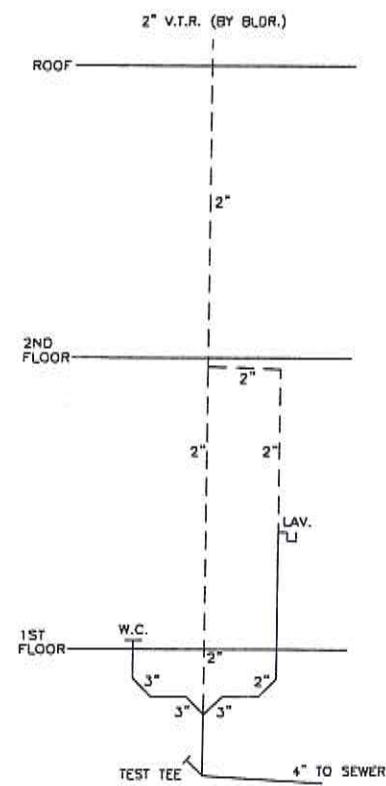
KITCHEN



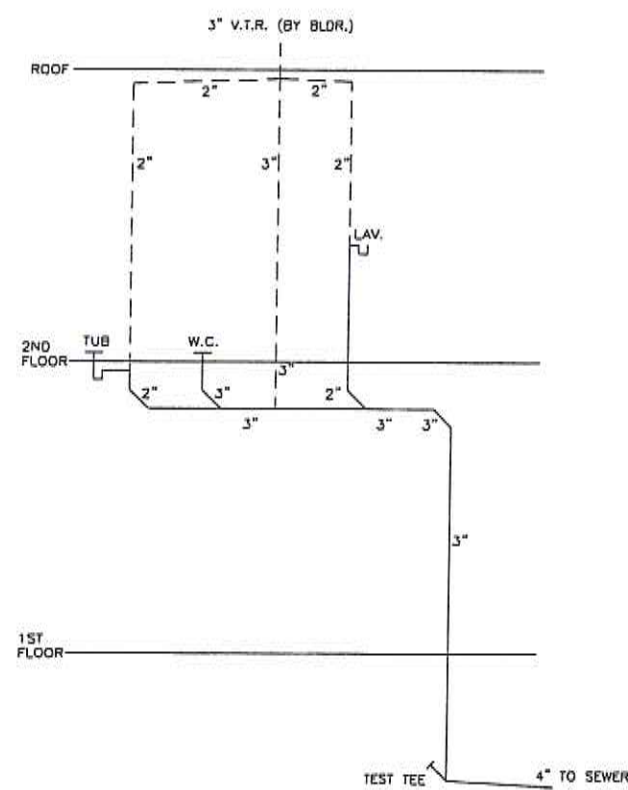
UTILITY ROOM



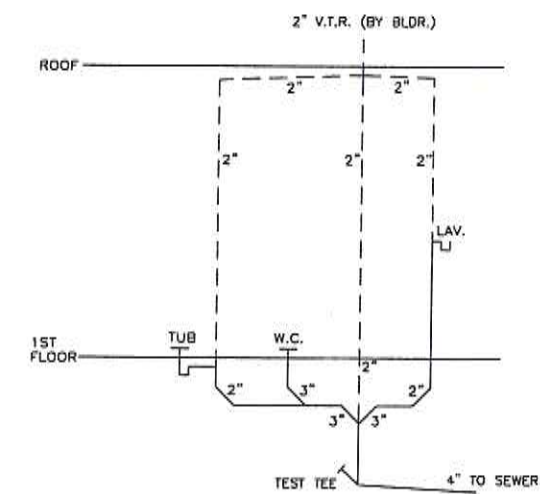
MASTER BATH



POWDER ROOM



HALL BATH



HALL BATH #2

PLUMBING RISER DIAGRAMS

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

SHEET NO.
19 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
PLUMBING RESER
SCHEMATICS

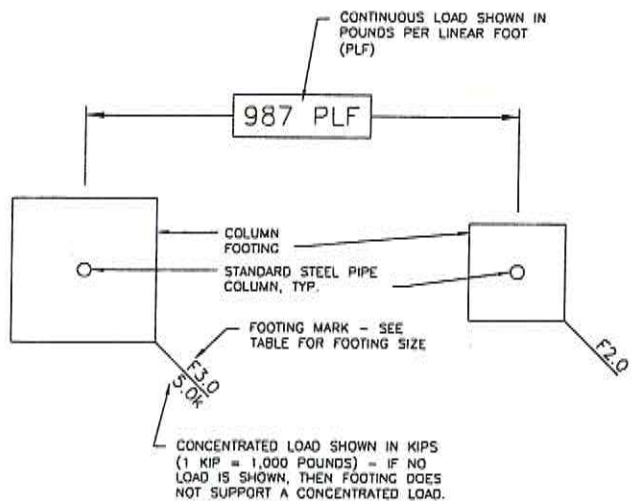
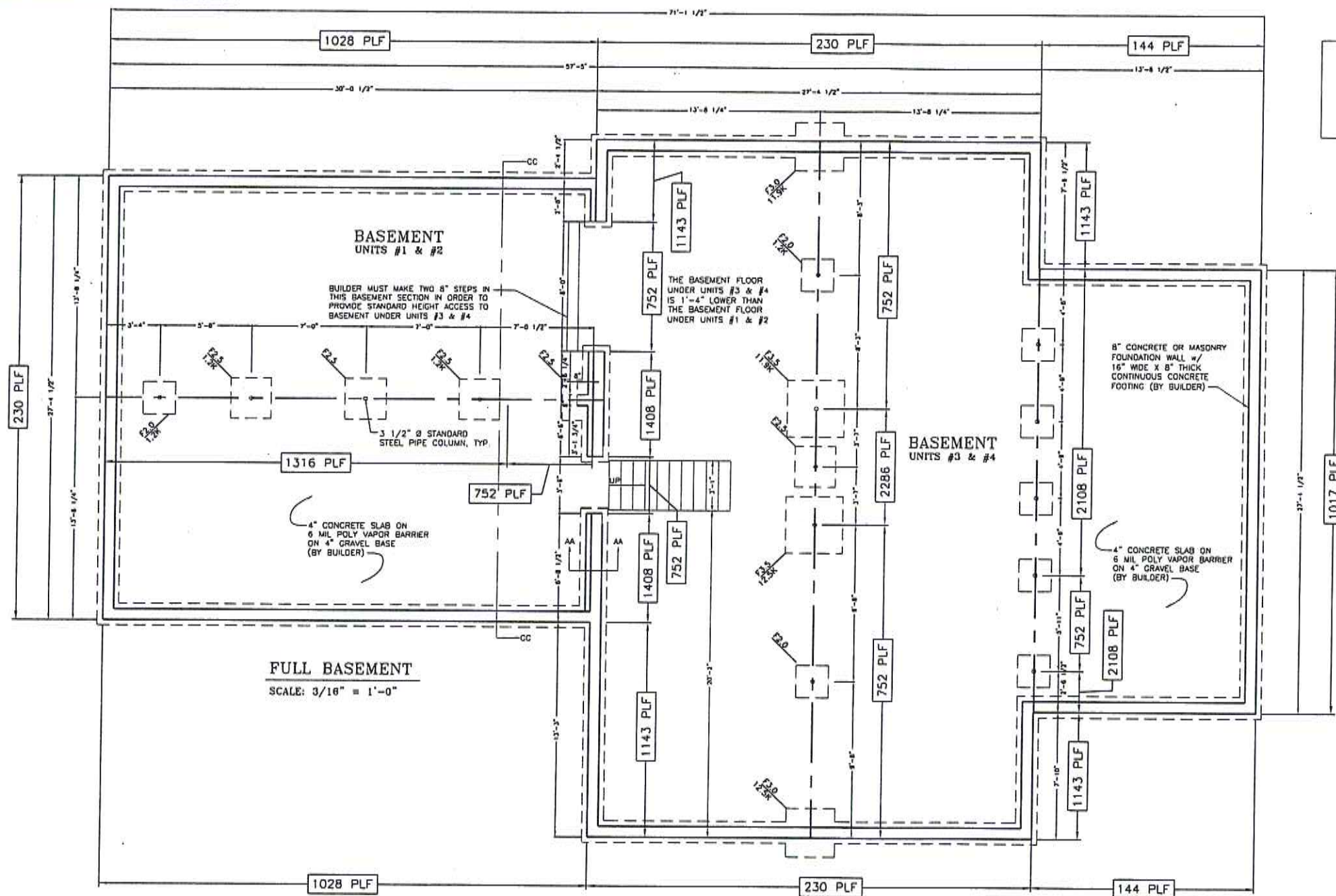
North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

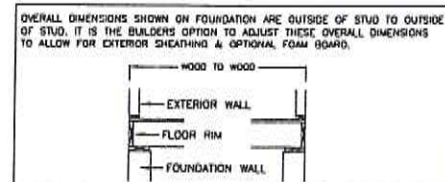
SCALE:
N/A

THIS PLAN HAS
ALREADY
BEEN REVERSED



FOOTING SCHEDULE

MARK	SIZE (W x D x T)
F2.0	2'-0" x 2'-0" x 1'-0"
F2.5	2'-6" x 2'-6" x 1'-0"
F3.0	3'-0" x 3'-0" x 1'-0"
F3.5	3'-6" x 3'-6" x 1'-3"
F4.0	4'-0" x 4'-0" x 1'-3"



FOUNDATION PLAN

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

4			
3			
2			
1			
REV. #	AS-BUILT PERMIT SET	4/1/08	DLE
	REMARKS	DATE:	DRAWN:

SHEET NO.
7 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

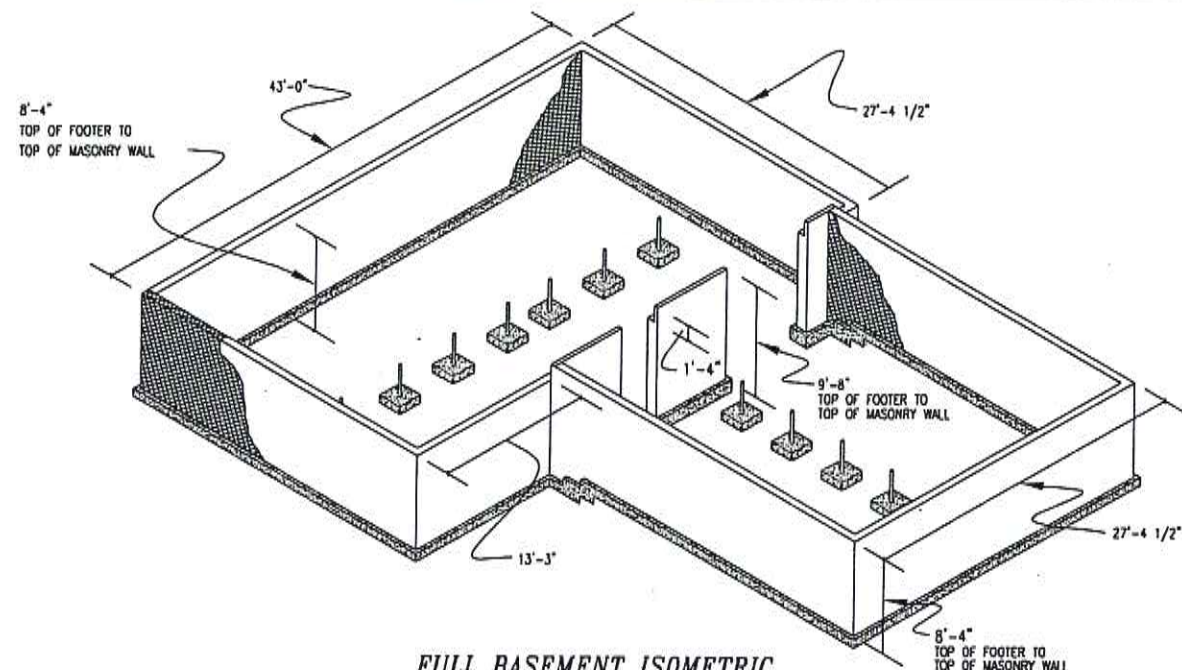
DRAWING:
FOUNDATION
PLAN

North American Housing Corp.
CORPORATE HEADQUARTERS
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301-694-9100

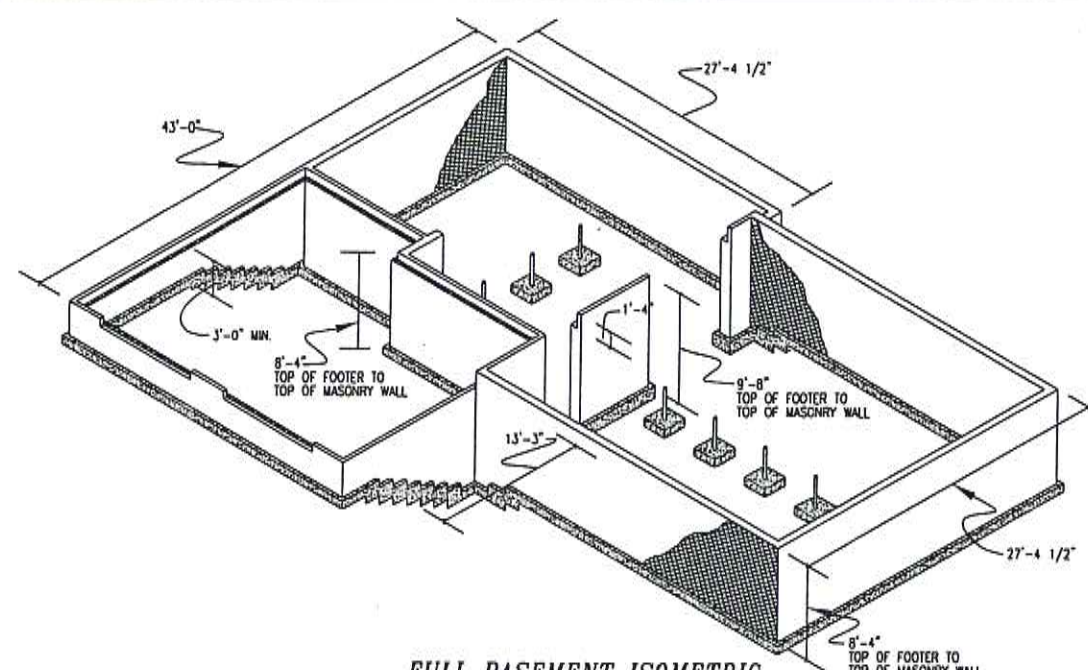


DRAWN: DLE
DATE: 4/1/08

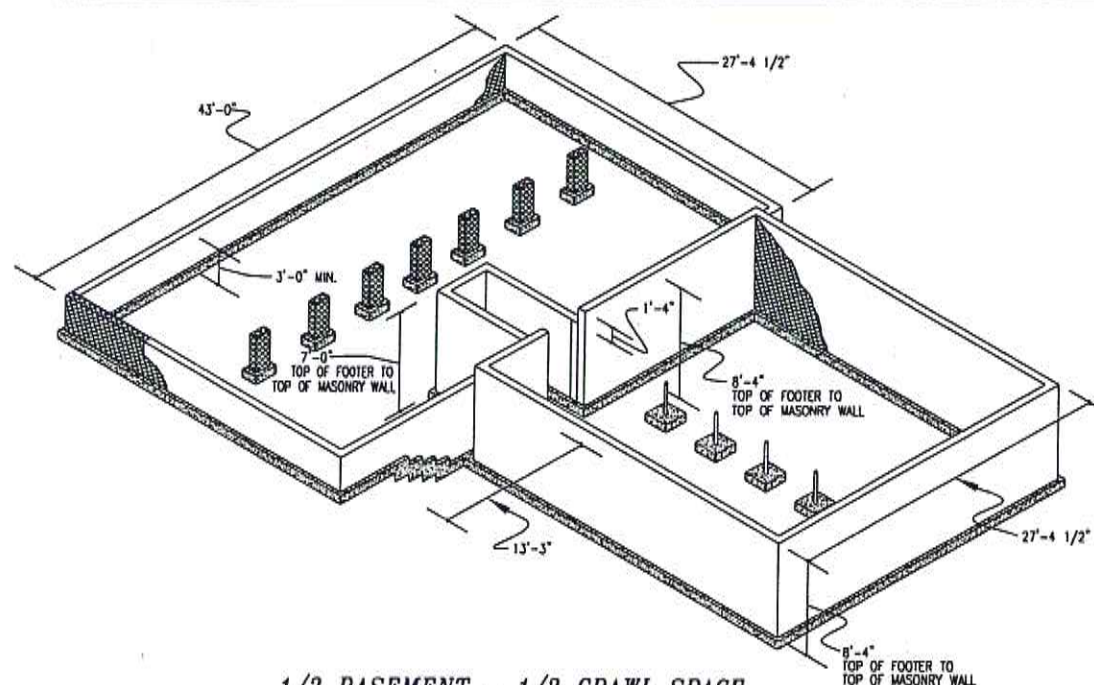
SCALE:
1/8"



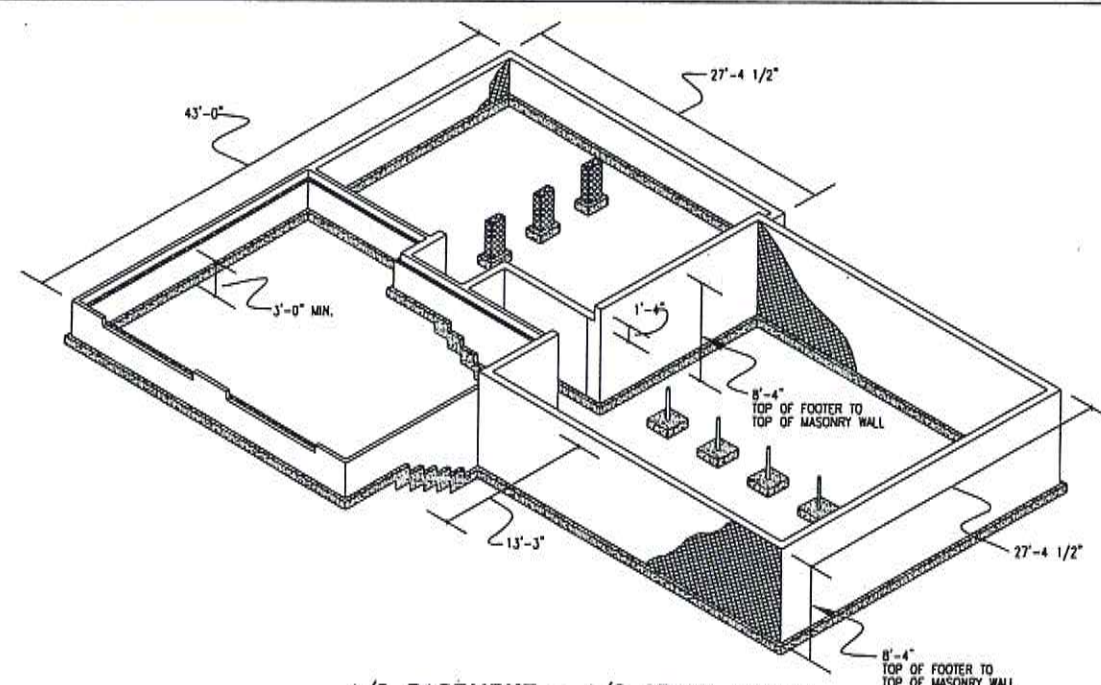
FULL BASEMENT ISOMETRIC
WITHOUT OPTIONAL GARAGE
NOT TO SCALE



FULL BASEMENT ISOMETRIC
WITH OPTIONAL GARAGE
NOT TO SCALE

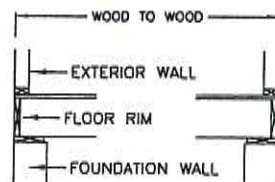


1/2 BASEMENT - 1/2 CRAWL SPACE
ISOMETRIC WITHOUT OPTIONAL GARAGE
NOT TO SCALE



1/2 BASEMENT - 1/2 CRAWL SPACE
ISOMETRIC WITH OPTIONAL GARAGE
NOT TO SCALE

OVERALL DIMENSIONS SHOWN ON FOUNDATION ARE OUTSIDE OF STUD TO OUTSIDE OF STUD. IT IS THE BUILDERS OPTION TO ADJUST THESE OVERALL DIMENSIONS TO ALLOW FOR EXTERIOR SHEATHING & OPTIONAL FOAM BOARD.



FOUNDATION DETIALS

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

4
3
2
1
REV. #

AS-BUILT PERMIT SET
REMARKS

4/1/08
DATE:

DLE
DRAWN:

SCALE:
N/A

SHEET NO.
8 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

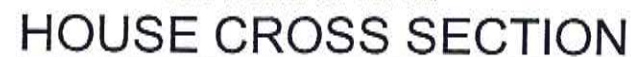
DRAWING:
FOUNDATION
DETAILS

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CORPORATE HEADQUARTERS
5724 INDUSTRY LANE FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

Pennyweight	Diameter (in)	Length (in)	F _{yp} (ksi)
6d	0.113	2	100
8d	0.131	2.5	100
10d	0.148	3	90
12d	0.148	3.25	90
16d	0.162	3.5	90
20d	0.192	4	80



JOB REF: 746 CHICK ROAD

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE	DRAWN

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
CROSS SECTION

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FREDERICK, MD 21704
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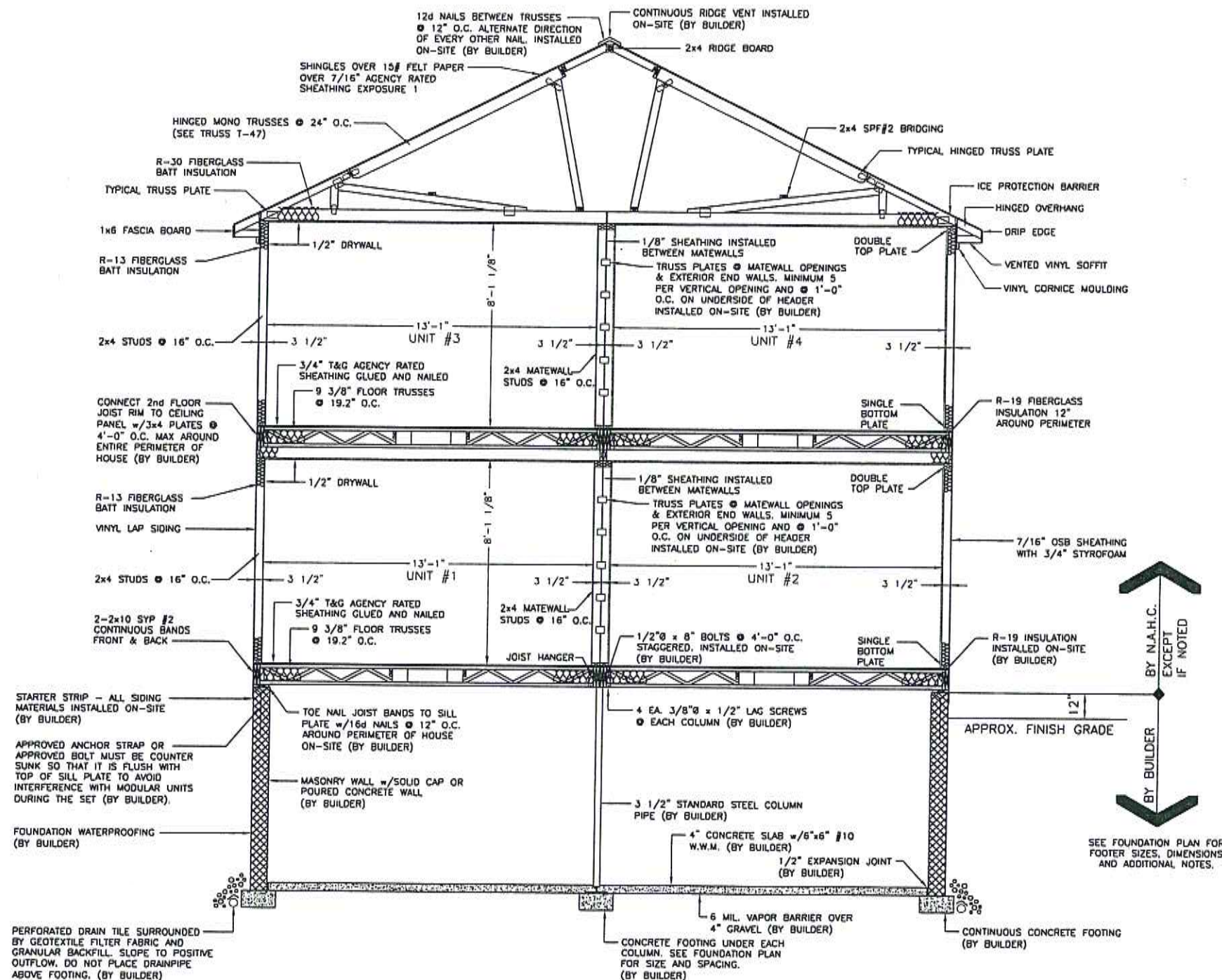


DRAWN:
DLE
DATE:
4/1/08

SCALE:
3/16"

NOTE:
ALL NAILS SPECIFIED ARE COMMON WIRE NAILS
WITH SIZE AND STRENGTH AS NOTED IN THE
FOLLOWING TABLE.

Pennyweight	Diameter (in)	Length (in)	F _y (ksi)
6d	0.113	2	100
8d	0.131	2.5	100
10d	0.148	3	90
12d	0.148	3.25	90
16d	0.162	3.5	90
20d	0.192	4	80



HOUSE CROSS SECTION

4			
3			
2			
1			
REV. #	AS-BUILT PERMIT SET	4/1/08	DLE
	REMARKS	DATE:	DRAWN:

RSM: KT

STATE: MD

CO: FREDERICK

BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
CROSS SECTION

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100

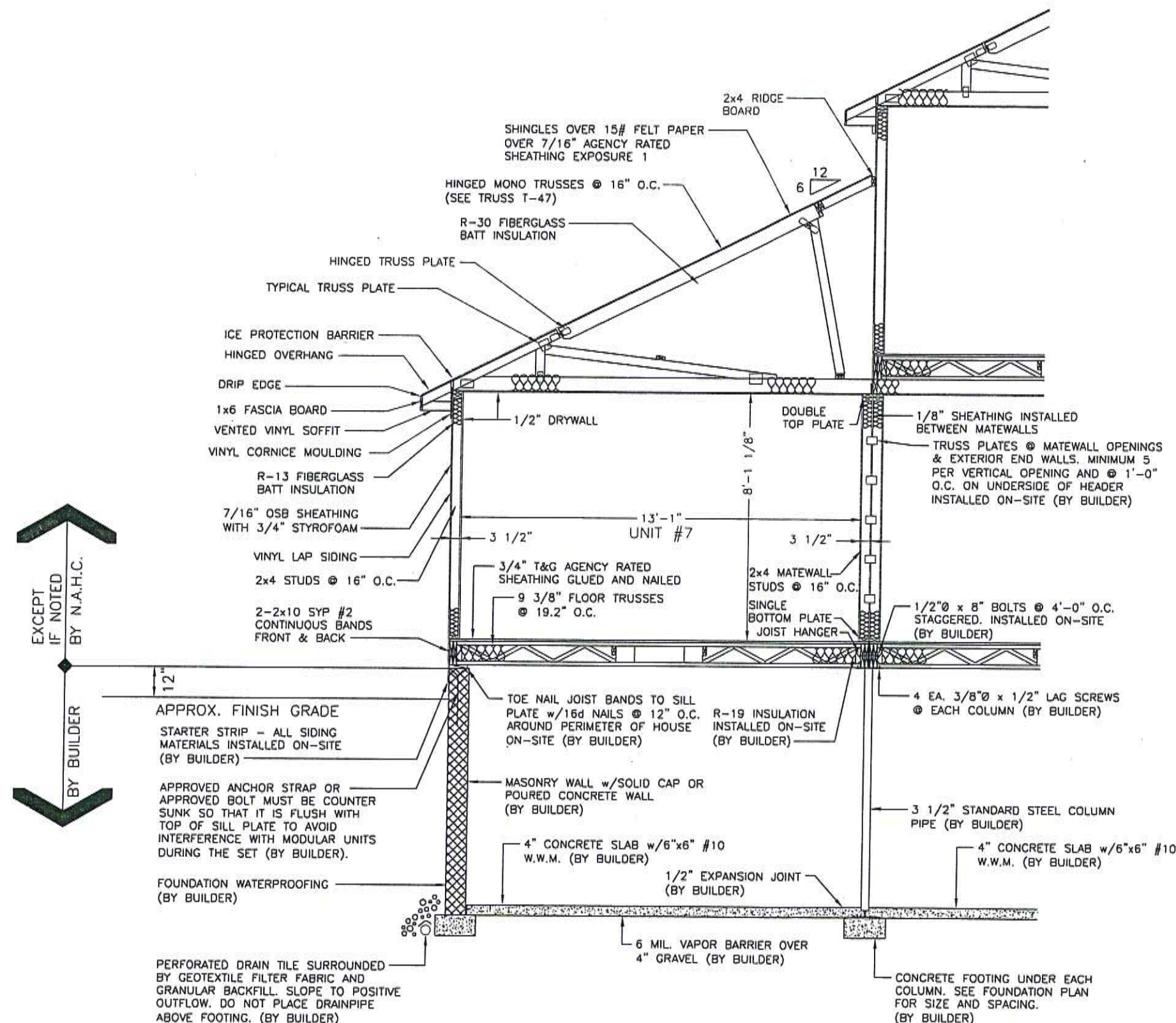


DRAWN: DLE
DATE: 4/1/08

SCALE:
1/4"

NOTE:
ALL NAILS SPECIFIED ARE COMMON WIRE NAILS
WITH SIZE AND STRENGTH AS NOTED IN THE
FOLLOWING TABLE.

Pennyweight	Diameter (in)	Length (in)	F _y (ksi)
6d	0.113	2	100
8d	0.131	2.5	100
10d	0.148	3	90
12d	0.148	3.25	90
16d	0.162	3.5	90
20d	0.192	4	80



HOUSE CROSS SECTION

RSM: KT

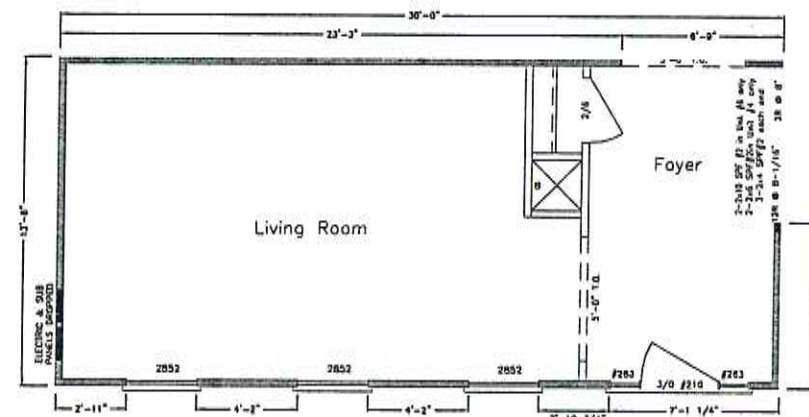
STATE: MD

CO: FREDERICK

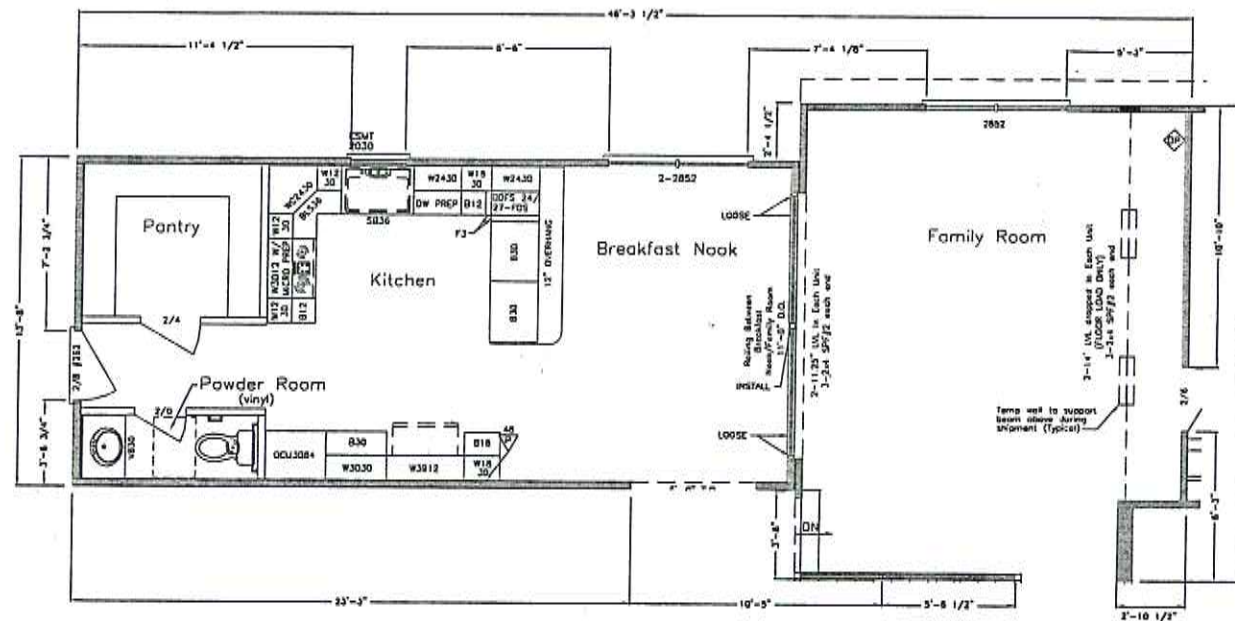
BUILDER: DISTINGUISHED HOMES

JOB REF: 746 CHICK ROAD

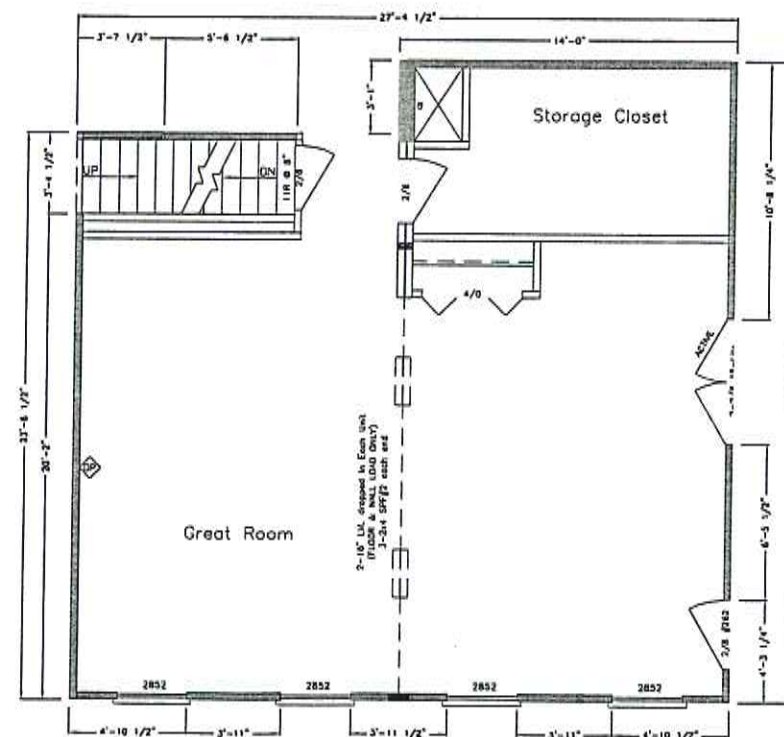
4			
3			
2			
1			
REV. #	AS-BUILT PERMIT SET	4/1/08	DLE
	REMARKS	DATE:	DRAWN:



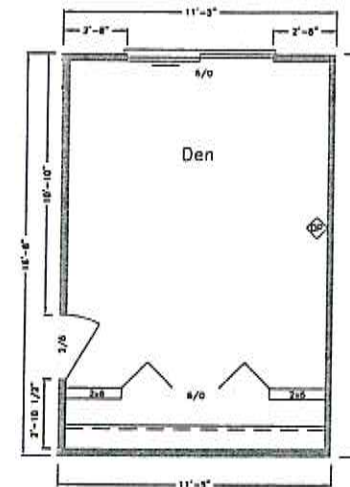
BLOCK 3



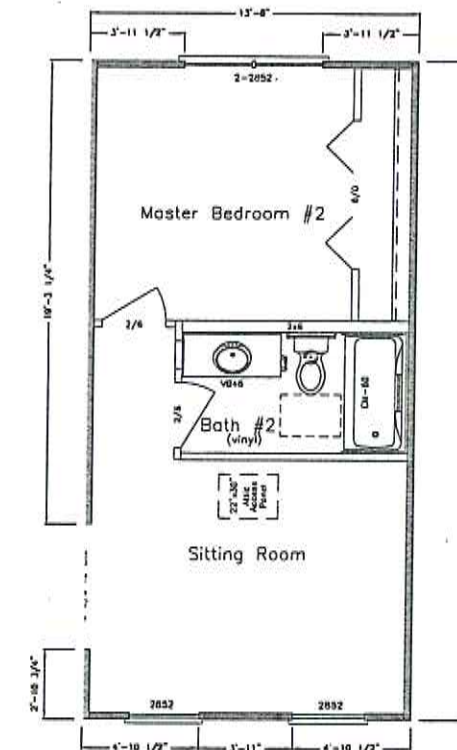
BLOCK 1



BLOCK 4



BLOCK 2



BLOCK 5

WIND BRACING - 1ST FLOOR

RSM: KT	STATE: MD	CO: FREDERICK	BUILDER: DISTINGUISHED HOMES	JOB REF: 746 CHICK ROAD	4	AS-BUILT PERMIT SET	4/1/08	DLE	SCALE: 1/8"
					3	REMARKS	DATE:	DRAWN:	
					2				
					1				
					REV. #				

SHEET NO.
20 of 21

MODEL:
FAIRVIEW
38-17291 &
17292

DRAWING:
WALL BRACING
1ST FLOOR

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

SCALE:
1/8"

MODEL:
FAIRVIEW
38-17291 &
17292

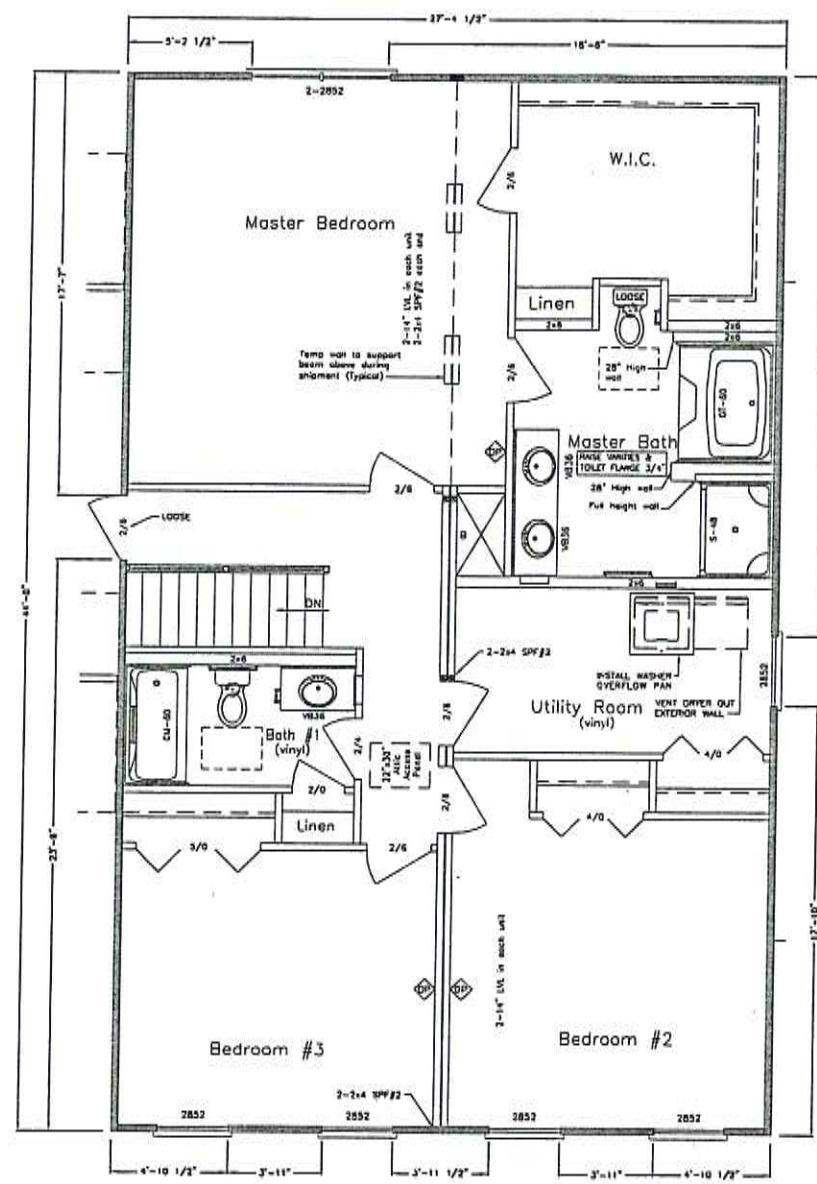
DRAWING:
WALL BRACING
2ND FLOOR

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



DRAWN:
DLE
DATE:
4/1/08

SCALE:
1/8"



BLOCK 5

WIND BRACING - 2ND FLOOR

RSM: KT	STATE: MD	CO: FREDERICK	BUILDER: DISTINGUISHED HOMES	JOB REF: 746 CHICK ROAD
---------	-----------	---------------	------------------------------	-------------------------

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

MODEL:
FAIRVIEW
38-17291 &
17292

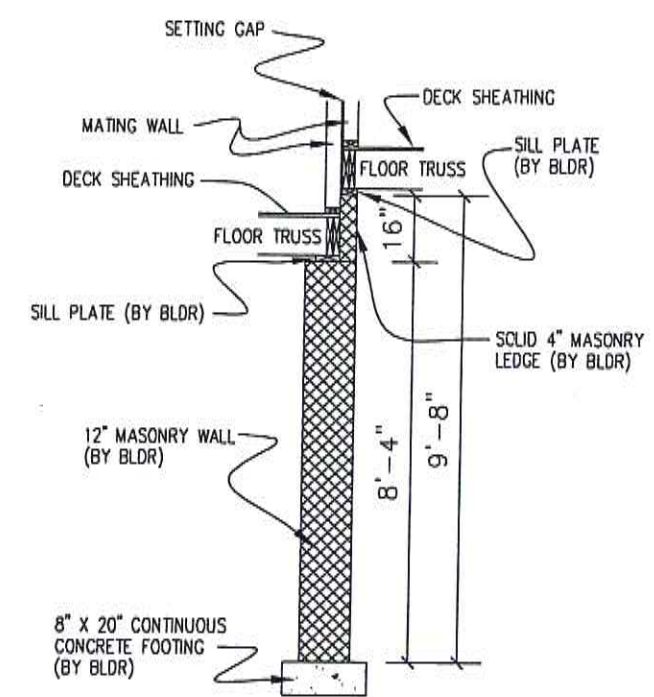
DRAWING:
**FOUNDATION
DETAILS**

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE - FREDERICK, MD 21704
301-694-9100

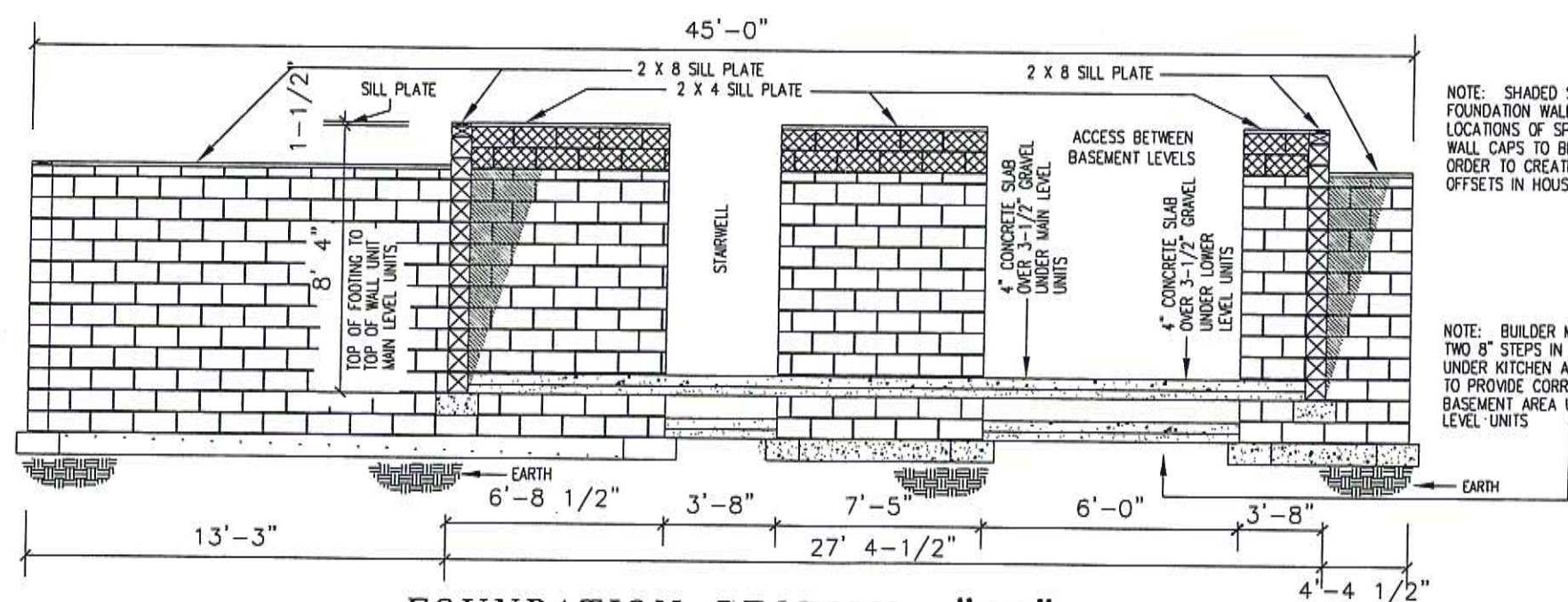
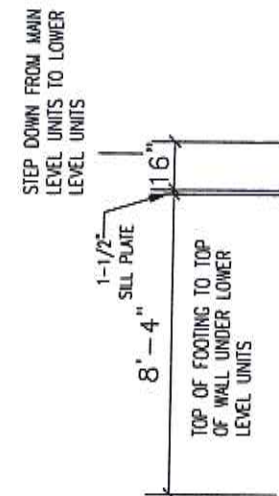


DRAWN: **DLE**
DATE: **4/1/08**

SCALE:
AS NOTED



DETAIL "AA"
SCALE: 1/4" = 1'-0"



NOTE: SHADED SECTIONS OF FOUNDATION WALLS INDICATE LOCATIONS OF SPECIAL MASONRY WALL CAPS TO BE USED IN ORDER TO CREATE LEDGES FOR OFFSETS IN HOUSE.

NOTE: BUILDER MUST CREATE TWO 8" STEPS IN CONCRETE SLAB UNDER KITCHEN AREA IN ORDER TO PROVIDE CORRECT ACCESS INTO BASEMENT AREA UNDER LOWER LEVEL UNITS

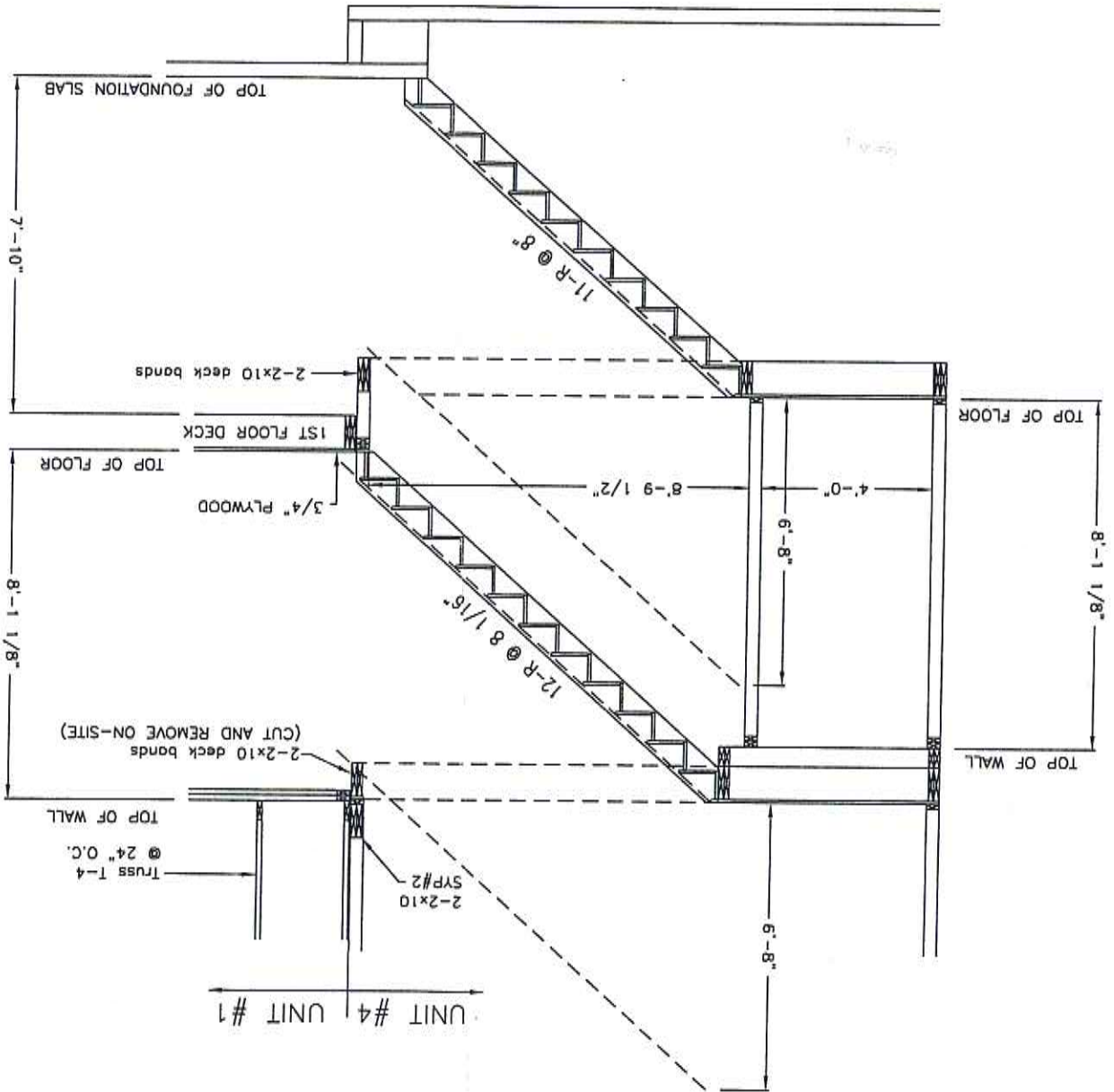
FOUNDATION SECTION "CC"
WITH OR WITHOUT OPTIONAL GARAGE
(FULL BASEMENT)

FOUNDATION DETIALS

RSM: KT	STATE: MD	CO: FREDERICK	BUILDER: DISTINGUISHED HOMES	JOB REF: 746 CHICK ROAD
---------	-----------	---------------	------------------------------	-------------------------

4			
3			
2			
1	AS-BUILT PERMIT SET	4/1/08	DLE
REV. #	REMARKS	DATE:	DRAWN:

STAIR HEADROOM DETAIL




RSM: KT	STATE: MD	CO: FREDERICK	BUILDER: DISTINGUISHED HOMES	JOB REF: 746 CHICK ROAD
---------	-----------	---------------	------------------------------	-------------------------

REV. #	REMARKS	DATE	DRAWN
1	AS-BUILT PERMIT SET	4/1/08	DLE
2			
3			
4			

SCALE: 1/4"

DRAWN: DLE
DATE: 4/1/08



North American Housing Corp.
CORPORATE HEADQUARTERS
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301-694-9100
FREDERICK, MD 21704

DRAWING: STAIR HEADROOM DETAIL

MODEL: FAIRVIEW 38-17291 & 17292
