



★ FAR NIENTE FARM ★



3243 Post Oak Point Rd.
New Ulm, TX.

Austin County Farm House with
3 bedrooms/2 baths
22.39 Acres, Pecan Trees, Barns,
Old cistern with outdoor shower,
Old Smokehouse, Large fenced
yard.



Texas is Our Territory

**Bill Johnson & Associates
Real Estate**

Since 1970



★ FAR NIENTE FARM ★

INDUSTRY * AUSTIN COUNTY

The old farm house, built in 1933, sits on a hill in a grove of large pecan trees on a 22.39 acre tract of land west of the town of Industry. In 2003, an addition was added to the main home, which now consists of 3 bedrooms and 2 baths, and has approximately 1,549 square feet of living area. The home possesses many comfortable and enjoyable features. The old farm house is surrounded by a large yard which is enclosed by a four-board wood fence. Under the mature pecan trees in the back yard, everyone seems to enjoy the late evening breezes while sitting around the detached patio with pergola. A covered barbeque shed is connected to the patio by a short concrete walkway which assures an evening of great Texas-styled fiddles and plenty of cold drink!

The land is gently rolling with a solid cover of Alicia grasses. It is perimeter and cross-fenced. Other improvements on the property include a concrete floored tin barn/shop, a tin barn with corral, a well house featuring an old cistern with an outdoor shower, and several small storage buildings. Country Living would not be complete without a big red rooster crowing early every morning to inform everyone that daylight is fast approaching. Fresh eggs are gathered daily from the varmint-proof tin-roofed structure, which is home to the chickens. This 22.39 acre property has a lot to offer its Proud Owner. Come See This One!!

Bill Johnson and Associates Real Estate Company will Co-Broker if buyer is accompanied by his or her agent at all property showings.







HOME LISTING

Address of Home:	3243 POST OAK POINT ROAD, NEW ULM, TX 78950	Listing #100500
Location of Home:	INDUSTRY*HWY. 159W*LEFT ON ROCK HOUSE RD.LEFT ON POST OAK POINT RD TO PROPERTY	
County or Region:	AUSTIN COUNTY	For Sale Sign on Property? ☒ YES ☒ NO
Subdivision:	NONE	Property Size: 22.39 ACRES
Subdivision Restricted:	☐ YES ☒ NO	Mandatory Membership in Property Owners' Assn. ☐ YES ☒ NO
Listing Price:	\$395,000.00	
Terms of Sale		
Cash:	☒ YES ☐ NO	
Seller-Finance:	☐ YES ☒ NO	
Sell.-Fin. Terms:		
Down Payment:		
Note Period:		
Interest Rate:		
Payment Mode:	☐ Mc ☐ Qt. ☐ S.A. ☐ Ann.	
Balloon Note:	☐ YES ☐ NO	
Number of Years:		

Size and Construction:

Year Home was Built:	1933 - 2003
Lead Based Paint Addendum Required if prior to 1978:	☒ YES
Bedrooms: 3	Bath: 2
Size of Home (Approx.)	1,549 Living Area
	Total
Foundation:	☐ Slab ☒ Pier/Beam ☒ Other
Roof Type:	STANDING SEAM METAL Year Installed: 2005
Exterior Construction:	ALUMINUM SIDING

Room Measurements: APPROXIMATE SIZE:

Living Room:	13' x 17'
Dining Room:	11' x 23' with sitting area
Kitchen:	9' x 11'
Family Room:	
Utility:	
Bath:	6' x 7' ☒ Tub ☒ Shower
Bath:	7' x 11' ☐ Tub ☒ Shower
Bath:	☐ Tub ☐ Shower
Master Bdrm:	11' x 13'
Bedroom:	10' x 11'
Bedroom:	11' x 11'
Bedroom:	
Other:	Breakfast Room: 8' x 9'
Garage ☐	Carport: ☐ No. of Cars: ☐ Attached ☐ Detached

Porches:

Front: Size:	7-1/2' x 12'
Back: Size:	
Deck: Size:	☐ Covered
Deck: Size:	☐ Covered
Fenced Yard:	Yes - 4 board wood fence
Outside Storage:	☒ Yes ☐ No Size: SEVERAL STORAGE
Construction:	SHEDS - WOOD AND TIN
TV Antenna ☐	Dish ☒ Cable ☐

Home Features

☒	Ceiling Fans	No. 6
☐	Dishwasher	
☐	Garbage Disposal	
☒	Microwave (Built-In)	
☒	Kitchen Range (Built-In)	☒ Gas ☐ Electric
☒	Refrigerator	

Items Specifically Excluded from The Sale: LIST:

ALL OF SELLER'S PERSONAL PROPERTY LOCATED ON SAID 22.39 ACRES

Heat and Air:

☒	Central Heat	☐ Gas	Electric ☒	# Units: _____
☒	Central Air	☐ Gas	Electric ☒	# Units: _____
☐	Other:			
☐	Fireplace(s)			
☐	Wood Stove			
☒	Water Heater(s):	☒ Gas ☐ Electric		

Utilities:

Electricity Provider:	FAYETTE CO. ELECTRIC COOP
Gas Provider:	FAYETTEVILLE PROPANE
Sewer Provider:	PRIVATE (GALLE)
Water Provider:	WATER WELL
Water Well: ☒ YES ☐ NO	Depth: 140'
	Year Drilled: 2007
Average Utility Bill:	Monthly: \$45.00

Taxes:

	2016 Year
School:	\$ 1,374.07
County:	\$ 432.29
FM/Rd/Br:	\$ 160.42
Hospital:	\$ 65.76
City:	
Taxes:	\$ 2,032.54
School District:	BELLVILLE I.S.D.

Additional Information:

Stairs to unfinished attic off one of the bedrooms

All furnishings inside the home are included in the sale.

BILL JOHNSON AND ASSOCIATES REAL ESTATE COMPANY WILL CO-BROKER IF BUYER IS ACCOMPANIED BY HIS OR HER AGENT AT ALL PROPERTY SHOWINGS.

LOT OR ACREAGE LISTING

Location of Property: Industry*Hwy. 159W* left on Rockhouse Road*Left on Post Oak Point to property Listing #: 100500
 Address of Property: 3243 POST OAK POINT ROAD, NEW ULM, TX 78950 ROAD FRONTAGE: 687 FEET +/-
 County: AUSTIN COUNTY Paved Road: ☐ YES ☒ NO For Sale Sign on Property? ☒ YES ☐ NO
 Subdivision: NONE Lot Size or Dimensions: 22.39 Acres
 Subdivision Restricted: ☐ YES ☒ NO Mandatory Membership in Property Owners' Assn. ☐ YES ☒ NO

Number of Acres: 22.39 ACRES

Price per Acre (or)

Total Listing Price: \$395,000.00

Terms of Sale:

Cash: ☒ YES ☐ NO
 Seller-Finance: ☐ YES ☒ NO
 Sell.-Fin. Terms:
 Down Payment:
 Note Period:
 Interest Rate:
 Payment Mode: ☐ Mo. ☐ Qt. ☐ Ann.
 Balloon Note: ☐ YES ☐ NO
 Number of Years:

Property Taxes: Year: 2016

School: \$ 1,374.07

County: \$ 432.29

FM/Rd/Br.: \$ 160.42

Hospital: \$ 65.76

City:

TOTAL: \$ 2,032.54

Agricultural Exemption: ☒ Yes ☐ No

School District: BELLVILLE I.S.D.

Minerals and Royalty:

Seller believes 100% *Minerals

to own: 100% *Royalty

Seller will NEGOTIABLE Minerals

Convey: NEGOTIABLE Royalty

Leases Affecting Property:

Oil and Gas Lease: ☐ Yes ☒ No

Lessee's Name:

Lease Expiration Date:

Surface Lease: ☐ Yes ☒ No

Lessee's Name: LESLIE BEHRENS

Lease Expiration Date: VERBAL AGREEMENT

Oil or Gas Locations: ☐ Yes ☒ No

Easements Affecting Property: Name(s):

Pipeline: NONE

Roadway: NONE

Electric: FAYETTE ELECTRIC CO-OP & L.C.R.A.

Telephone: NONE

Water: NONE

Other:

Improvements on Property:

Home: ☒ YES ☐ NO See HOME listing if Yes

Buildings: NONE

WELL HOUSE WITH CISTERN

Barns: 29' X 30' BARN

20' X 37' TIN BARN WITH CORRAL

Others: OLD SMOKE HOUSE, OLD CHICKEN HOUSE,
DETACHED CONCRETE PATIO W/PERGOLA & COVERED

BBQ COOKING AREA SEVERAL SMALL SHEDS

% Wooded: 10% +/-

Type Trees: PECAN AND PINE TREES

Fencing: Perimeter ☒ YES ☐ NO

Condition: GOOD

Cross-Fencing: ☒ YES ☐ NO

Condition: GOOD

Ponds: Number of Ponds: NONE

Sizes:

Creek(s): Name(s): NONE

River(s): Name(s): NONE

Water Well(s): How Many? ONE

Year Drilled: 2007 Depth: 140'

Community Water Available: ☐ YES ☒ NO

Provider:

Electric Service Provider (Name): FAYETTE

ELECTRIC CO-OP.

Gas Service Provider FAYETTEVILLE

PROPANE

Septic System(s): How Many: ONE

Soil Type: CLAYISH LOAM & HILL IS SANDY

Grass Type(s): ALICIA GRASS

Flood Hazard Zone: See Seller's Disclosure or to be

determined by survey

Nearest Town to Property: INDUSTRY

Distance: 4 MILES

Driving time from Houston 1 HOUR 20 MINUTES

Items specifically excluded from the sale: ALL OF

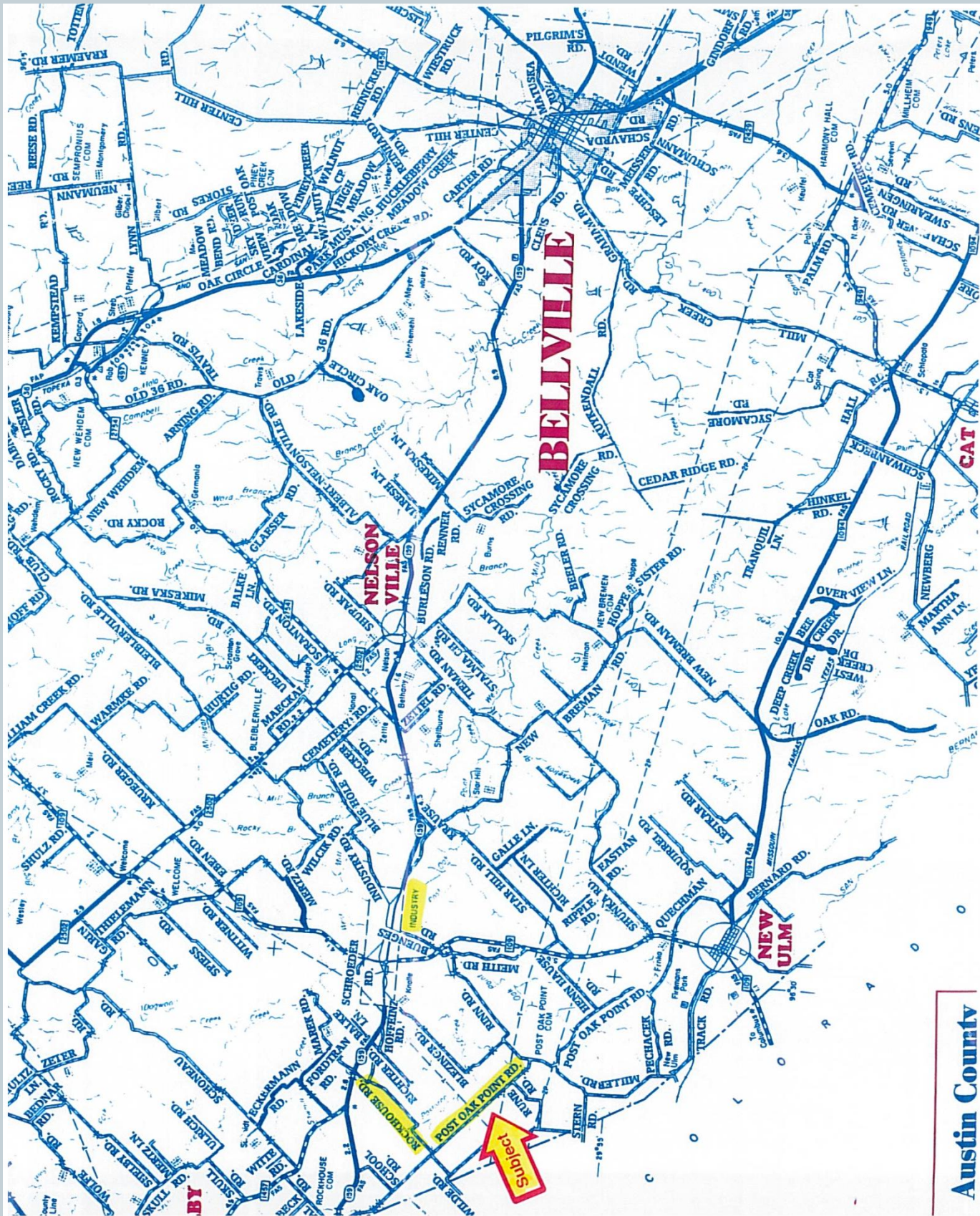
SELLER'S PERSONAL PROPERTY LOCATED ON 22.39

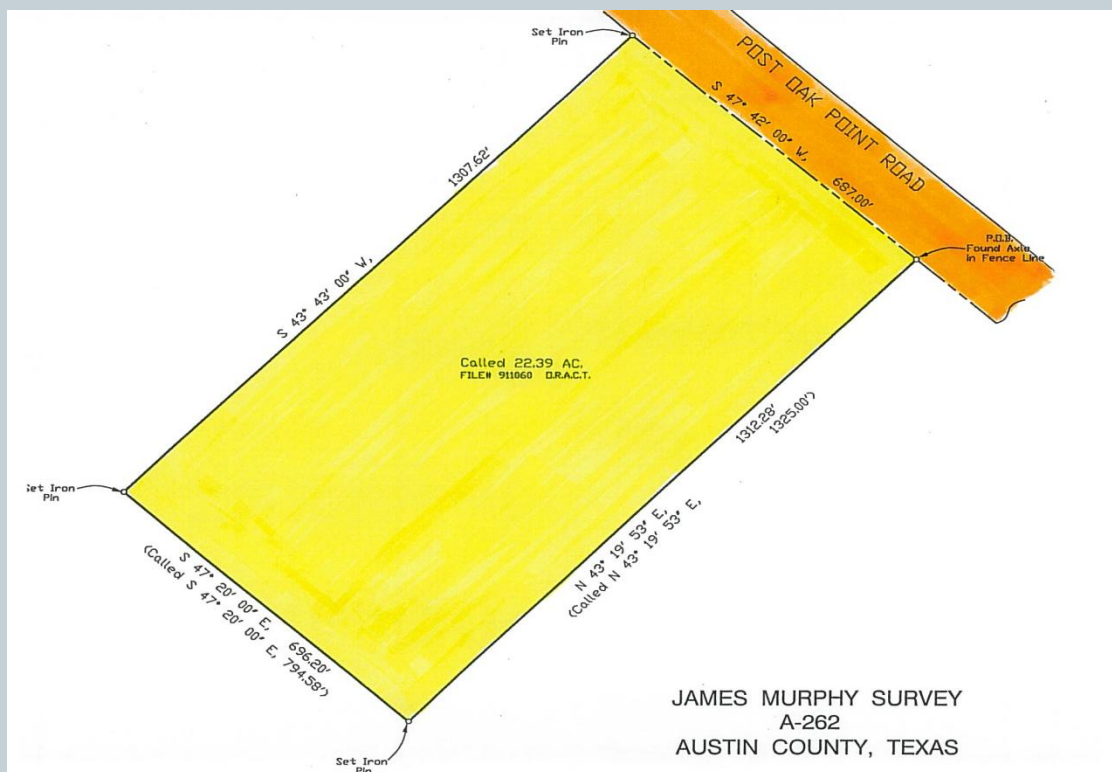
ACRES

Additional Information: PROPERTY HAS APPROX.

687 +/- FEET OF FRONTAGE ON POST OAK POINT ROAD

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Bill Johnson & Associates
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Since 1970

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