



# TEXAS ASSOCIATION OF REALTORS® SELLER'S DISCLOSURE NOTICE

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Section 5.008, Property Code requires a seller of residential property of not more than one dwelling unit to deliver a Seller's Disclosure Notice to a buyer on or before the effective date of a contract. **This form complies with and contains additional disclosures which exceed the minimum disclosures required by the Code.**

CONCERNING THE PROPERTY AT 1326 HAPPY HOLLOW RD.  
Brenham, TX 77833

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE BUYER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER, SELLER'S AGENTS, OR ANY OTHER AGENT.

Seller ☒ is ☐ is not occupying the Property. If unoccupied (by Seller), how long since Seller has occupied the Property?  
SEPT 2011 (approximate date) or ☐ never occupied the Property

## Section 1. The Property has the items marked below: (Mark Yes (Y), No (N), or Unknown (U).)

*This notice does not establish the items to be conveyed. The contract will determine which items will & will not convey.*

Item	Y	N	U
Cable TV Wiring	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Carbon Monoxide Det.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Ceiling Fans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cooktop	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dishwasher	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Emergency Escape Ladder(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Exhaust Fans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fire Detection Equip.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
French Drain	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gas Fixtures <u>GRILL</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Natural Gas Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Item	Y	N	U
Liquid Propane Gas:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-LP Community (Captive)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
-LP on Property	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hot Tub	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Intercom System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Microwave	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Grill	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patio/Decking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Plumbing System	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool Equipment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool Maint. Accessories	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool Heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Item	Y	N	U
Pump: sump grinder	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Rain Gutters	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Range/Stove	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof/Attic Vents	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sauna	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Smoke Detector	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Smoke Detector - Hearing Impaired	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Spa	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Trash Compactor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
TV Antenna	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Washer/Dryer Hookup	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Window Screens	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Public Sewer System	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Item	Y	N	U	Additional Information
Central A/C	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> electric <input type="checkbox"/> gas number of units: <u>3</u>
Evaporative Coolers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	number of units: _____
Wall/Window AC Units	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	number of units: _____
Attic Fan(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	if yes, describe: _____
Central Heat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> electric <input type="checkbox"/> gas number of units: <u>3</u>
Other Heat	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	if yes, describe: _____
Oven	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	number of ovens: <u>1</u> <input checked="" type="checkbox"/> electric <input type="checkbox"/> gas other: _____
Fireplace & Chimney	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> wood <input type="checkbox"/> gas logs <input type="checkbox"/> mock other: <u>2</u>
Carport	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> attached <input type="checkbox"/> not attached
Garage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> attached <input type="checkbox"/> not attached
Garage Door Openers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	number of units: _____ number of remotes: _____
Satellite Dish & Controls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	owned <input checked="" type="checkbox"/> leased from: <u>DIRECTV</u>
Security System	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	owned <input type="checkbox"/> leased from: _____
Solar Panels	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	owned <input type="checkbox"/> leased from: _____
Water Heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> electric <input type="checkbox"/> gas other: _____ number of units: <u>1</u>
Water Softener	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	owned <input type="checkbox"/> leased from: _____
Other Leased Items(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	if yes, describe: _____

(TAR-1406) 02-01-18

Coldwell Banker Properties Unlmt, 2402 South Day St. Brenham TX 77833

Lindi Braddock

Initialed by: Buyer: \_\_\_\_\_

and Seller: JM JS

Phone: 979.836.0011

Fax: 979.353.4334

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1326 Happy

1326 HAPPY HOLLOW RD.  
Brenham, TX 77833

Concerning the Property at \_\_\_\_\_

Underground Lawn Sprinkler	<input checked="" type="checkbox"/>	<input type="checkbox"/> automatic <input type="checkbox"/> manual areas covered: <u>front lawn to GARAGE</u>
Septic / On-Site Sewer Facility	<input checked="" type="checkbox"/>	if yes, attach Information About On-Site Sewer Facility (TAR-1407)

Water supply provided by: city ☒ well ☐ MUD ☐ co-op ☐ unknown ☐ other: \_\_\_\_\_

Was the Property built before 1978? ☐ yes ☒ no ☐ unknown

(If yes, complete, sign, and attach TAR-1906 concerning lead-based paint hazards).

Roof Type: Asph. Comp. Sh. / Pool 66 sq. ft. in 1992 Age: unknown / 2003 (approximate)

Is there an overlay roof covering on the Property (shingles or roof covering placed over existing shingles or roof covering)? ☐ yes ☒ no ☐ unknown

Are you (Seller) aware of any of the items listed in this Section 1 that are not in working condition, that have defects, or are need of repair? ☐ yes ☒ no If yes, describe (attach additional sheets if necessary): \_\_\_\_\_

Section 2. Are you (Seller) aware of any defects or malfunctions in any of the following?: (Mark Yes (Y) if you are aware and No (N) if you are not aware.)

Item	Y	N	Item	Y	N	Item	Y	N
Basement		<input checked="" type="checkbox"/>	Floors		<input checked="" type="checkbox"/>	Sidewalks		<input checked="" type="checkbox"/>
Ceilings		<input checked="" type="checkbox"/>	Foundation / Slab(s)		<input checked="" type="checkbox"/>	Walls / Fences		<input checked="" type="checkbox"/>
Doors		<input checked="" type="checkbox"/>	Interior Walls		<input checked="" type="checkbox"/>	Windows		<input checked="" type="checkbox"/>
Driveways		<input checked="" type="checkbox"/>	Lighting Fixtures		<input checked="" type="checkbox"/>	Other Structural Components		<input checked="" type="checkbox"/>
Electrical Systems		<input checked="" type="checkbox"/>	Plumbing Systems		<input checked="" type="checkbox"/>			
Exterior Walls		<input checked="" type="checkbox"/>	Roof		<input checked="" type="checkbox"/>			

If the answer to any of the items in Section 2 is yes, explain (attach additional sheets if necessary): \_\_\_\_\_

Section 3. Are you (Seller) aware of any of the following conditions: (Mark Yes (Y) if you are aware and No (N) if you are not aware.)

Condition	Y	N	Condition	Y	N
Aluminum Wiring		<input checked="" type="checkbox"/>	Previous Foundation Repairs		<input checked="" type="checkbox"/>
Asbestos Components		<input checked="" type="checkbox"/>	Previous Roof Repairs - <u>Fixed</u> <u>Advised Attorney</u>	<input checked="" type="checkbox"/>	
Diseased Trees: <u>oak wilt</u>		<input checked="" type="checkbox"/>	Previous Other Structural Repairs		<input checked="" type="checkbox"/>
Endangered Species/Habitat on Property		<input checked="" type="checkbox"/>	Radon Gas		<input checked="" type="checkbox"/>
Fault Lines		<input checked="" type="checkbox"/>	Settling		<input checked="" type="checkbox"/>
Hazardous or Toxic Waste		<input checked="" type="checkbox"/>	Soil Movement		<input checked="" type="checkbox"/>
Improper Drainage		<input checked="" type="checkbox"/>	Subsurface Structure or Pits		<input checked="" type="checkbox"/>
Intermittent or Weather Springs		<input checked="" type="checkbox"/>	Underground Storage Tanks		<input checked="" type="checkbox"/>
Landfill		<input checked="" type="checkbox"/>	Unplatted Easements		<input checked="" type="checkbox"/>
Lead-Based Paint or Lead-Based Pt. Hazards		<input checked="" type="checkbox"/>	Unrecorded Easements		<input checked="" type="checkbox"/>
Encroachments onto the Property		<input checked="" type="checkbox"/>	Urea-formaldehyde Insulation		<input checked="" type="checkbox"/>
Improvements encroaching on others' property		<input checked="" type="checkbox"/>	Water Penetration		<input checked="" type="checkbox"/>
Located in 100-year Floodplain		<input checked="" type="checkbox"/>	Wetlands on Property		<input checked="" type="checkbox"/>
(If yes, attach TAR-1414)		<input checked="" type="checkbox"/>			
Located in Floodway (If yes, attach TAR-1414)		<input checked="" type="checkbox"/>	Wood Rot		<input checked="" type="checkbox"/>
Present Flood Ins. Coverage		<input checked="" type="checkbox"/>	Active infestation of termites or other wood destroying insects (WDI)		<input checked="" type="checkbox"/>
(If yes, attach TAR-1414)		<input checked="" type="checkbox"/>	Previous treatment for termites or WDI		<input checked="" type="checkbox"/>
Previous Flooding into the Structures - <u>Fixed</u> <u>Damage</u>		<input checked="" type="checkbox"/>	Previous termite or WDI damage repaired		<input checked="" type="checkbox"/>
Previous Flooding onto the Property		<input checked="" type="checkbox"/>	Previous Fires		<input checked="" type="checkbox"/>
Located in Historic District		<input checked="" type="checkbox"/>			

(TAR-1406) 02-01-18

Initialed by: Buyer: \_\_\_\_\_ and Seller: [Signature]

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Brenham, TX 77833

Concerning the Property at \_\_\_\_\_

Historic Property Designation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Termite or WDI damage needing repair	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Use of Premises for Manufacture of Methamphetamine	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Single Blockable Main Drain in Pool/Hot Tub/Spa*	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to any of the items in Section 3 is yes, explain (attach additional sheets if necessary):

- Replaced wood floors & fixed drainage, after leak on floors -  
no issues since, even in Hurricane Harvey  
- Fixed small leaks in roof around chimney along Hurricane Harvey  
no issues since

\*A single blockable main drain may cause a suction entrapment hazard for an individual.

Section 4. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair, which has not been previously disclosed in this notice? ☐ yes ☒ no If yes, explain (attach additional sheets if necessary):

Section 5. Are you (Seller) aware of any of the following (Mark Yes (Y) if you are aware. Mark No (N) if you are not aware.)

Y N

☒ Room additions, structural modifications, or other alterations or repairs made without necessary permits, with unresolved permits, or not in compliance with building codes in effect at the time.

☒ Homeowners' associations or maintenance fees or assessments. If yes, complete the following:

Name of association: \_\_\_\_\_

Manager's name: \_\_\_\_\_ Phone: \_\_\_\_\_

Fees or assessments are: \$ \_\_\_\_\_ per \_\_\_\_\_ and are: ☐ mandatory ☐ voluntary

Any unpaid fees or assessment for the Property? ☐ yes (\$ \_\_\_\_\_) ☒ no

If the Property is in more than one association, provide information about the other associations below or attach information to this notice.

☒ Any common area (facilities such as pools, tennis courts, walkways, or other) co-owned in undivided interest with others. If yes, complete the following:

Any optional user fees for common facilities charged? ☐ yes ☒ no If yes, describe: \_\_\_\_\_

☒ Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property.

☒ Any lawsuits or other legal proceedings directly or indirectly affecting the Property. (Includes, but is not limited to: divorce, foreclosure, heirship, bankruptcy, and taxes.)

☒ Any death on the Property except for those deaths caused by: natural causes, suicide, or accident unrelated to the condition of the Property.

☒ Any condition on the Property which materially affects the health or safety of an individual.

☒ Any repairs or treatments, other than routine maintenance, made to the Property to remediate environmental hazards such as asbestos, radon, lead-based paint, urea-formaldehyde, or mold.

If yes, attach any certificates or other documentation identifying the extent of the remediation (for example, certificate of mold remediation or other remediation).

☒ Any rainwater harvesting system located on the Property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.

☒ The Property is located in a propane gas system service area owned by a propane distribution system retailer.

☒ Any portion of the Property that is located in a groundwater conservation district or a subsidence district.

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Concerning the Property at \_\_\_\_\_

If the answer to any of the items in Section 5 is yes, explain (attach additional sheets if necessary): \_\_\_\_\_

Section 6. Seller \_\_\_ has X has not attached a survey of the Property.

Section 7. Within the last 4 years, have you (Seller) received any written inspection reports from persons who regularly provide inspections and who are either licensed as inspectors or otherwise permitted by law to perform inspections? ✓ yes \_\_\_ no If yes, attach copies and complete the following:

Inspection Date	Type	Name of Inspector	No. of Pages
11-9-15	Buyer Inspector	Dale Merte	

Note: A buyer should not rely on the above-cited reports as a reflection of the current condition of the Property. A buyer should obtain inspections from inspectors chosen by the buyer.

Section 8. Check any tax exemption(s) which you (Seller) currently claim for the Property:

\_\_\_ Homestead \_\_\_ Senior Citizen \_\_\_ Disabled  
\_\_\_ Wildlife Management \_\_\_ Agricultural \_\_\_ Disabled Veteran  
\_\_\_ Other: NONE \_\_\_ Unknown

Section 9. Have you (Seller) ever filed a claim for damage to the Property with any insurance provider? ✓ yes \_\_\_ no (TAX RATE FLOORS)

Section 10. Have you (Seller) ever received proceeds for a claim for damage to the Property (for example, an insurance claim or a settlement or award in a legal proceeding) and not used the proceeds to make the repairs for which the claim was made? \_\_\_ yes X no If yes, explain: \_\_\_\_\_

Section 11. Does the Property have working smoke detectors installed in accordance with the smoke detector requirements of Chapter 766 of the Health and Safety Code? X unknown \_\_\_ no \_\_\_ yes. If no or unknown, explain. (Attach additional sheets if necessary): \_\_\_\_\_

*\*Chapter 766 of the Health and Safety Code requires one-family or two-family dwellings to have working smoke detectors installed in accordance with the requirements of the building code in effect in the area in which the dwelling is located, including performance, location, and power source requirements. If you do not know the building code requirements in effect in your area, you may check unknown above or contact your local building official for more information.*

*A buyer may require a seller to install smoke detectors for the hearing impaired if: (1) the buyer or a member of the buyer's family who will reside in the dwelling is hearing-impaired; (2) the buyer gives the seller written evidence of the hearing impairment from a licensed physician; and (3) within 10 days after the effective date, the buyer makes a written request for the seller to install smoke detectors for the hearing-impaired and specifies the locations for installation. The parties may agree who will bear the cost of installing the smoke detectors and which brand of smoke detectors to install.*

Seller acknowledges that the statements in this notice are true to the best of Seller's belief and that no person, including the broker(s), has instructed or influenced Seller to provide inaccurate information or to omit any material information.

Signature of Seller \_\_\_\_\_ Date 4-7-2018 Signature of Seller \_\_\_\_\_ Date \_\_\_\_\_

Printed Name: John Kevin Bladgen Printed Name: \_\_\_\_\_

(TAR-1406) 02-01-18 Initialed by: Buyer: \_\_\_\_\_ and Seller: [Signature] Page 4 of 5

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Concerning the Property at \_\_\_\_\_

**ADDITIONAL NOTICES TO BUYER:**

- (1) The Texas Department of Public Safety maintains a database that the public may search, at no cost, to determine if registered sex offenders are located in certain zip code areas. To search the database, visit [www.txdps.state.tx.us](http://www.txdps.state.tx.us). For information concerning past criminal activity in certain areas or neighborhoods, contact the local police department.
- (2) If the Property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the Property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit may be required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.
- (3) If the Property is located in a seacoast territory of this state designated as a catastrophe area by the Commissioner of the Texas Department of Insurance, the Property may be subject to additional requirements to obtain or continue windstorm and hail insurance. A certificate of compliance may be required for repairs or improvements to the Property. For more information, please review *Information Regarding Windstorm and Hail Insurance for Certain Properties* (TAR 2518) and contact the Texas Department of Insurance or the Texas Windstorm Insurance Association.
- (4) This Property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.
- (5) If you are basing your offers on square footage, measurements, or boundaries, you should have those items independently measured to verify any reported information.
- (6) The following providers currently provide service to the Property:

Electric: Blue Bonnet Electric  
Sewer: SEPTIL  
Water: WELL + COUNTRY WASH. CTY.  
Cable: DIRECTV  
Trash: PRIVATE  
Natural Gas: \_\_\_\_\_  
Phone Company: \_\_\_\_\_  
Propane: FAYETTEVILLE PROPRANE  
Internet: RISE BROADBAND

phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_  
phone #: \_\_\_\_\_

- (7) This Seller's Disclosure Notice was completed by Seller as of the date signed. The brokers have relied on this notice as true and correct and have no reason to believe it to be false or inaccurate. YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY.

The undersigned Buyer acknowledges receipt of the foregoing notice.

Signature of Buyer \_\_\_\_\_ Date \_\_\_\_\_ Signature of Buyer \_\_\_\_\_ Date \_\_\_\_\_  
Printed Name: \_\_\_\_\_ Printed Name: \_\_\_\_\_

(TAR-1406) 02-01-18

Initialed by: Buyer: \_\_\_\_\_, \_\_\_\_\_ and Seller: BS, JS

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## Information About Brokerage Services

*Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.*

### TYPES OF REAL ESTATE LICENSE HOLDERS:

- A **BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A **SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

### A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

### A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

**AS AGENT FOR OWNER (SELLER/LANDLORD):** The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

**AS AGENT FOR BUYER/TENANT:** The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

**AS AGENT FOR BOTH - INTERMEDIARY:** To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

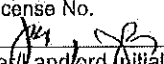

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
  - that the owner will accept a price less than the written asking price;
  - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
  - any coincidental information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

**AS SUBAGENT:** A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

### TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

**LICENSE HOLDER CONTACT INFORMATION:** This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

<b>South Day Inc dba Coldwell Banker Prop Unlmt</b>	<b>417611</b>	<b>lindi.camaron@coldwellbanker.com</b>	<b>(979)836-0011</b>
Licensed Broker /Broker Firm Name or	License No.	Email	Phone
Primary Assumed Business Name			
<b>Lindi Braddock</b>	<b>233744</b>	<b>lindi.camaron@coldwellbanker.com</b>	<b>(979)277-4763</b>
Designated Broker of Firm	License No.	Email	Phone
<b>same</b>			
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
<b>Lindi Braddock</b>	<b>233744</b>	<b>lindi.camaron@coldwellbanker.com</b>	<b>(979)277-4763</b>
Sales Agent/Associate's Name	License No.	Email	Phone
			
Buyer/Tenant/Seller/Landlord Initials		Date	

Regulated by the Texas Real Estate Commission

Information available at [www.trec.texas.gov](http://www.trec.texas.gov)

IABS 1-0 Date

1326 Happy

Coldwell Bankers Properties Unlmt, 2402 South Day St, Brenham TX 77833

Phone: 979.836.0011

Fax: 979.353.4334

Lindi Braddock

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**First Choice Inspections Group**  
2309 - 4th St.  
Bay City, TX 77414  
979-245-0234  
979-244-1870 Fax  
d\_mertz@sbcglobal.net

SELLER COMMENTS

APRIL 2018

## PROPERTY INSPECTION REPORT

Prepared For: Julianne Blodgett  
(Name of Client)

Concerning: 1326 Happy Hollow Rd.; Brenham, TX  
(Address or Other Identification of Inspected Property)

By: Dale Mertz TREC #7517 11/09/2015  
(Name and License Number of Inspector) (Date)

\_\_\_\_\_  
(Name, License Number of Sponsoring Inspector)

### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported as Deficient may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders,

insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by the inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for sale or purchase of the home.

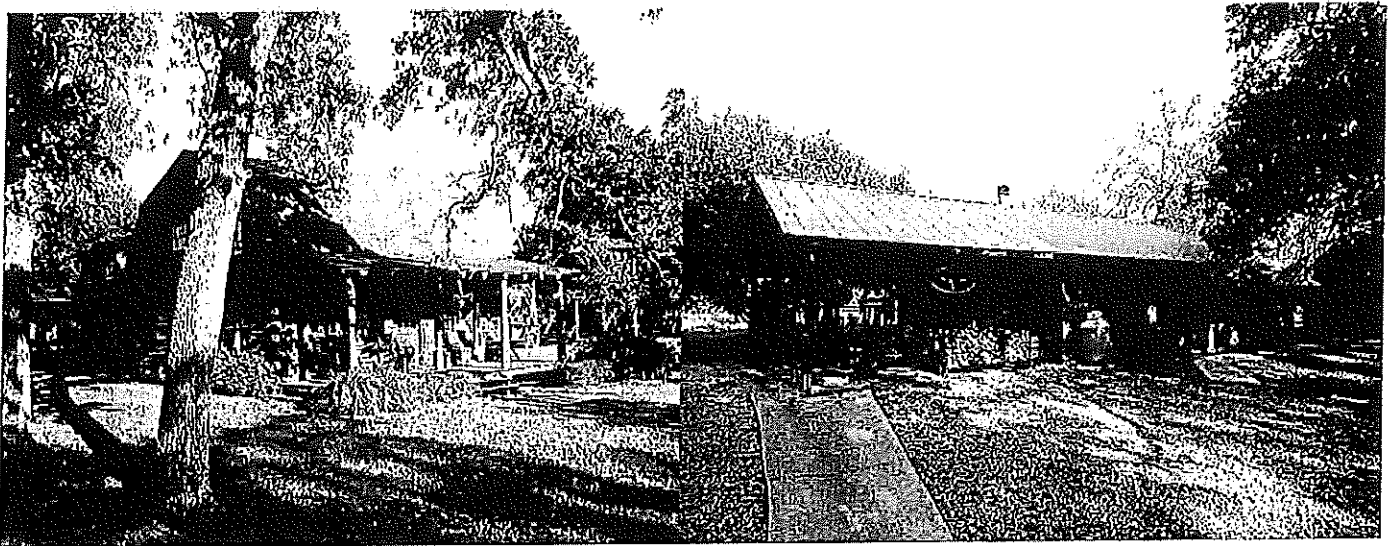


INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLINET. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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ADDITIONAL INFORMATION PROVIDED BY INSPECTION

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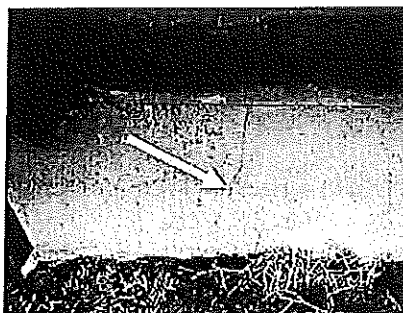
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This home and pool house was occupied at the time of this inspection and therefore all areas were not inspectable due to furniture and personal belongings on site. All pictures taken are not part of this report but are available upon request. Weather during this inspection was 54°-70° and sunny. If you should decide to further pursue items marked "Deficient", I suggest that you hire a professional engineer (PE) or licensed professional contractor to assess and make repairs to that system. Present during this inspection was myself, Katy Pugh, and partially – Blake Hillegist. Construction of the main home was 1984; home addition 1988; open porch and wood deck 1990; pool house main area 1990; pool house carport 2005 per Washington CAD. Inspection comments regarding the pool house will be preceded by "PH".

I	NI	NP	D	Inspection Item
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**I. STRUCTURAL SYSTEMS**
☒ ☐ ☐ ☐
**A. Foundations***Type of Foundation(s):* Slab-on-grade*Comments:*

The foundation is performing as intended. No significant problems were observed. I did notice a hairline crack at the right front corner of the main house however I do not consider it structurally significant.

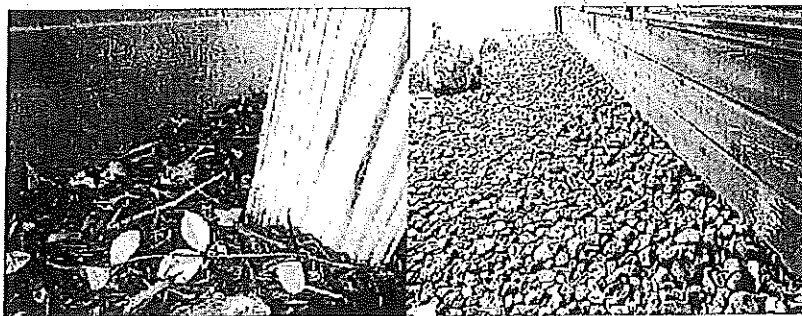

☒ ☐ ☐ ☒
**B. Grading and Drainage**

*Comments:* It is important to keep water moving away from a foundation and keep it consistent around the entire foundation to help prevent differential movement and potential cracking. Grade should be 6" below wooden siding/trimming. This allows a sight area to observe activity of potential wood destroying insects and to help keep moisture away from wood. I observed:

- Logs and (ph) plank siding are immediately at grade in several locations. To be fair, the plank siding is cedar which is naturally decay resistant.
- Gutter downspouts are terminating immediately at the foundation. One downspout has an extension but it is disconnected. Downspouts should terminate 5' away.
- Vegetation is blocking the site area between grade and the lower logs.



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### C. Roof Covering Materials

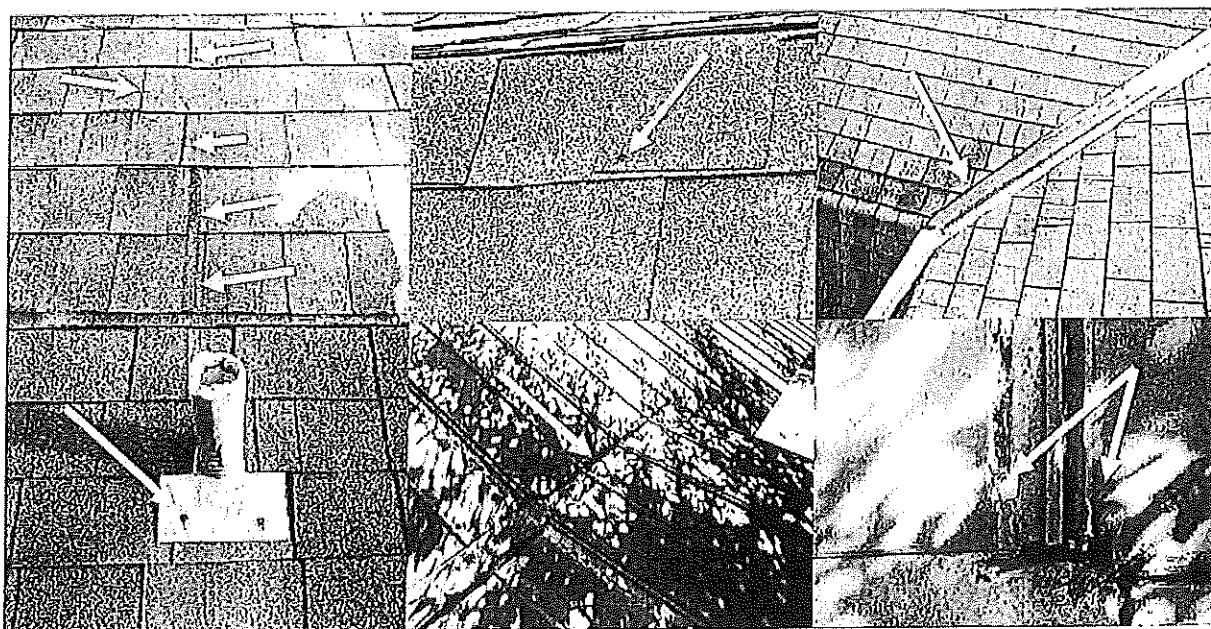
*Types of Roof Covering:* Composition & (PH) Metal Roofing Material

*Viewed From:* Walked on roof \*

*Comments:* \* I was not able to walk on the steep mansard sides of the main house but viewed them from a ladder, the ground, and from upper roof areas. The main house has a typical 30 year warranty shingle installed. The pool house has a 5-V galvanized metal roof installed. I observed:

- Rusted valley flashings.
- A few exposed nail heads – need to be caulked to seal around them and at least one shingle where a nail is backing out – leak concern during a wind driven rain event.
- Evidence of shingle repair on the front left mansard roof area. The new shingle butt joints are not offset per typical manufacturer specs – leak concern.
- The 5-V metal should be placed only on a roof with a 3" in 12" minimum roof pitch per typical manufacturer specs. The lower slope area of the pool house is a 1 ½" in 12" pitch – potential leak issues during a high volume rain event due to water spilling over the low corrugations of this material.
- Open screw holes where a rake trim was removed on the pool house when the carport was added – potential leak concern.
- No transition flashing from the steeper carport pitch to the door awning cover. In all fairness however, even if the transition leaks, rain could also blow under the awning.

No  
 Issues



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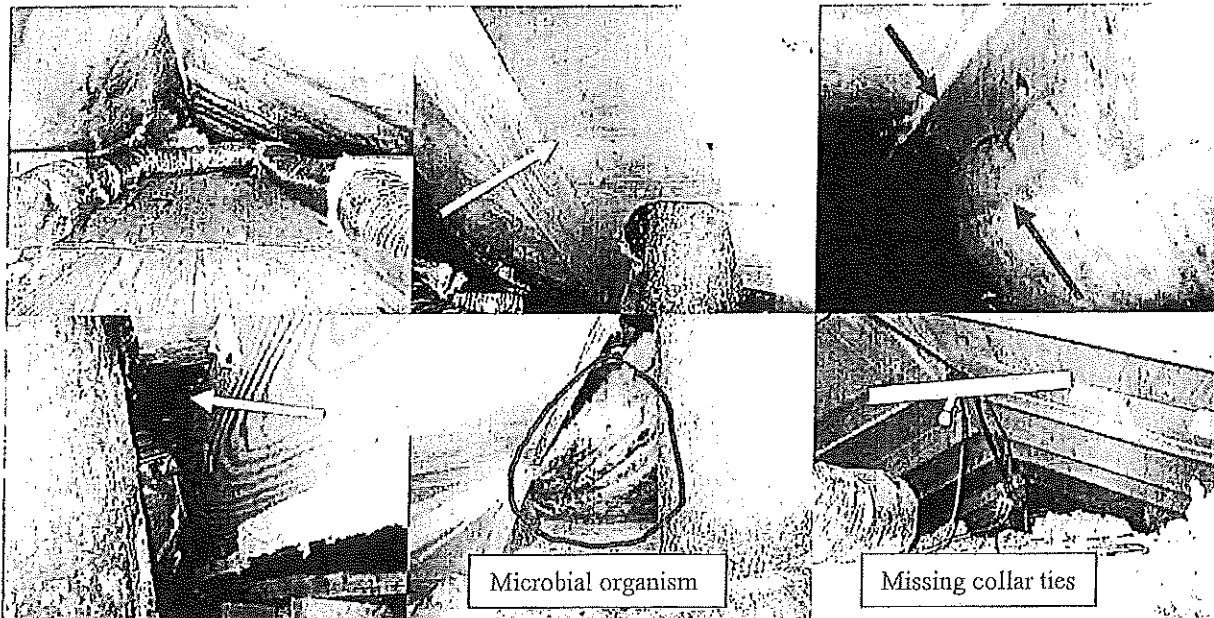
**D. Roof Structures and Attics***Viewed From: Interior of Attic \***Approximate Average Depth of Insulation: 6"**Approximate Average Thickness of Vertical Insulation: Unknown*

*Comments:* \* There was no accessible attic in the pool house area. I also did not enter the attic above the original main house due to a small scuttle hole partially obstructed by a ceiling fan and a bed obstructing placement of my ladder. I could observe the entire attic from my ladder in the scuttle access. There appears to be rigid foam insulation in the mansard roof cavity however I could only see the top of the sheet in the attic. The R-value of a 6" log is approximately R-8 for means of comparison. I observed:

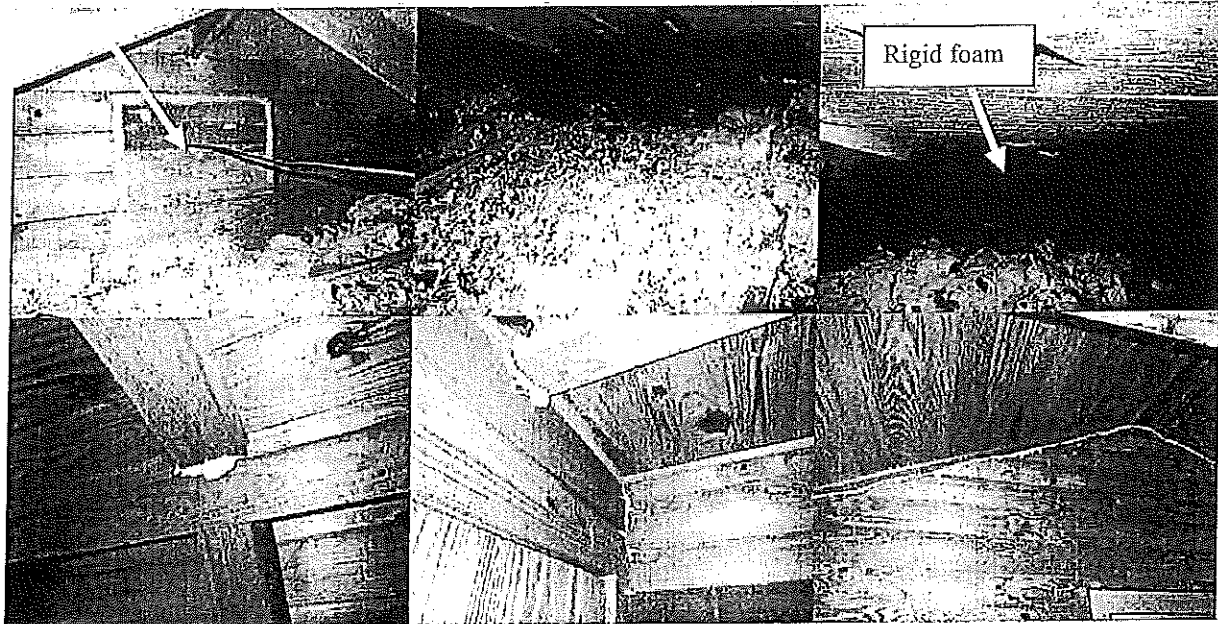
- The attic of the main house addition has a plastic barrier fastened to the underside of the rafters which is vapor "impermeable". That means that water vapor cannot get out of the house. This should never be done in the Southern climate. Fiberglass insulation is installed between the plastic, rafters, and the roof deck. This can lead to microbial organism growth. I did notice some growth near the chimney flue. I also observed what appears to be an active leak around the chimney flue. I suggest removing the plastic and taking whatever measures needed to remove the microbial growth and repair the roof leakage. The insulation is also falling out of the installation (none between red arrows). Should you replace the insulation with more fiberglass material, please consider that studies have shown it must be covered on all six sides to preserve the R-value. Make sure to use a vapor permeable membrane this time.
- Rodent activity and rodent nests in the insulation.
- Missing collar ties where the rafters attach to the ridge. Collar ties are a horizontal framing member used to tie the opposing rafters together and keep the ridge from separating.
- Limited ridge bracing. Typical ridge bracing is spaced at 8'oc +/- depending on the home design.
- Torn screens on attic gable vents.
- I assume the spray foam which is visible from the inside of the rooms is due to air leakage issues from outside or the attic areas. I did not see moisture indications at these locations. The foam is not very pretty to look at.

REPAIRED / NO  
ISSUES -

TRADE / REPAIR  
SERVICE -  
NO  
ISSUES



I	NI	NP	D	Inspection Item
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☒ ☐ ☐ ☒

**E. Walls (Interior and Exterior)**

Comments: I observed:

**Exterior:**

- Cedar plank siding is touching the roof shingles. Typically, the wood should be 1 ½" above the shingle.
- Loose metal flashing at a right side dormer window.
- Evidence of repaired areas especially on the right side wall; & evidence of existing decayed logs spread out mostly on the right side.
- Evidence of wood destroying insect activity in the logs (bore holes). I suggest having a pest control inspection to determine if this activity is current, treatment options if necessary, and the extent of damage.
- Rodent damage to soffit areas.

**Interior:**

- Drywall tape turning loose on duct areas in the pool house.

*Thoroughly researched  
and sealed/painted,  
no issues*



I	NI	NP	D	Inspection Item

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**F. Ceilings and Floors**

*Comments:* I observed:

**Floors:**

- Unlevel floor area when entering the 2<sup>nd</sup> floor front left bedroom.
- Evidence of water leakage on the floor area between the 1<sup>st</sup> floor master bedroom and adjacent bathroom. I suspect a commode overflow or sink leakage at some time in the past.

**Ceilings:**

- Smoke detectors are not in all required areas and those on site are not all functioning. They should be in every bedroom and every adjacent room & on each floor.



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☒ ☐ ☐ ☒
**G. Doors (Interior and Exterior)***Comments:* I observed:**Exterior:**

REPAIR -

- Loose threshold at the pool house entrance adjacent to the walkway cover.

**Interior:**

- Doors dragging the floor at the pool house TV closet.

**Garage Doors:** NA
☒ ☐ ☐ ☒
**H. Windows***Comments:* I opened at least one window in each bedroom to check for fire egress compliance (unless there was an exterior door present). I observed:

REPLACED ALL WINDOWS EXCEPT FRONT TWO

- Windows with extra storm window coverage are an issue with fire egress when seconds matter. At least one storm window glass broken.
- Second story fire egress windows should have 5.7sf of openable area. This house has 3.97sf. Also, the windows should open 24" high – these open 22".
- Decayed window sills noticed in several locations.
- Window mull bar grid is not attached in one window on the left side.
- PH: evidence of water staining on the window sills inside.


☒ ☐ ☐ ☒
**I. Stairways (Interior and Exterior)***Comments:* I observed:**Exterior:**

I	NI	NP	D	Inspection Item
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- The rear stair handrail is only 26 ½" tall and should be 36".
- Open risers. A small child can fall through the open space between the stair treads.
- The handrail is not graspable according to current code but is very close to being correct.

**Interior:** The current spiral staircase does not meet current codes however I do not know what they were when this home was built. I suggest at all times being very careful using this spiral staircase.

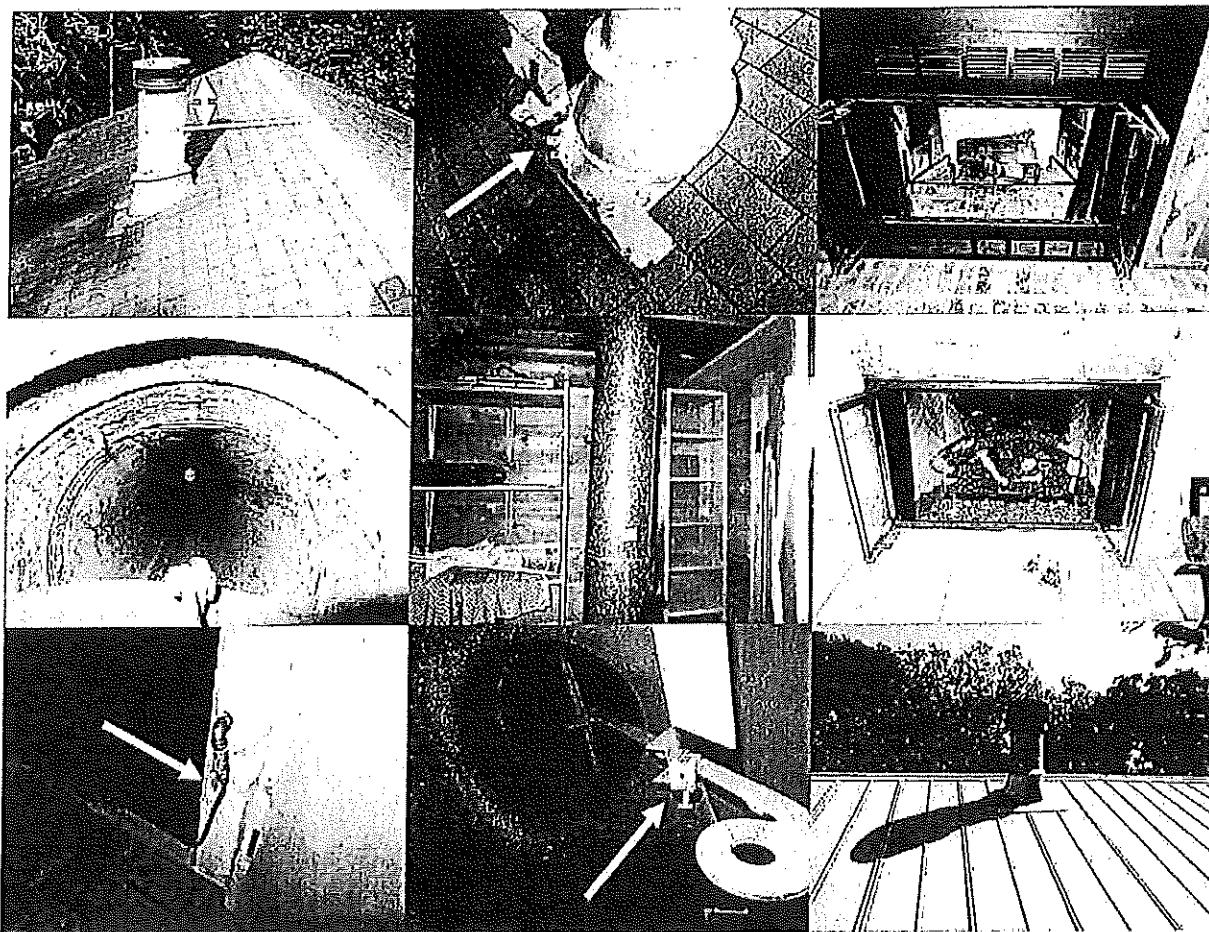
☒ ☐ ☐ ☒

#### J. Fireplaces and Chimneys

*Comments:* I always suggest cleaning flues before each season. I did not light the gas appliance in the pool house. Please be aware that where the flue passes through the 2<sup>nd</sup> floor closet, no combustible material should come within 1" of it. I observed:

- The flue should be 2' above the closest roof area within 10' and is currently about 15" – may cause the chimney not to draw smoke adequately.
- Rusted flashing and evidence of water leakage in the attic around the flue.
- The pool house damper clip is improperly installed on the damper. It is on the damper handle and not on the damper itself – see manufacturer specs.
- No sediment trap on the gas line at the valve (PH).

*Refracted*



☒ ☐ ☐ ☒

#### K. Porches, Balconies, Decks, and Carports



I	NI	NP	D	Inspection Item
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*Comments:* The front porch is 22" above grade and therefore does not require a guardrail to be present. There is no balcony on site. I did not inspect the pergola at poolside. I observed:

#### Front Porch:

- Decay is starting at the bottom porch boards under the column and adjacent porch floor beam. Currently the beam is still structurally sound but it should be monitored.

#### Rear Deck:

- Part of the beam appears to be separating. Steps should be taken to pull it back together and prevent moisture from entering between the members. Dark staining of the floor boards indicate an area where moisture is pooling and potential decay may start. Due to the ceiling under this deck, most of the structural framing was not visible for inspection and comment.

#### Carport (PH):

- Based on a quick cursory calculation of the framing of the carport; the double 2x12 beam supporting the rafters; the ridge board; & the single 2x10 supporting the ridge end are all extremely under sized using required loading specs (TL30psf). I suggest having a professional engineer (PE) analyze this structure fully.

#### Walkway Cover:

- Two beams are supported only by nails – should have a beam hanger or notched into the post top. Also, it could benefit from a rafter tie at least at mid-span of each section. This would help keep the beams from spreading apart.



☐ ☐ ☐ ☐

L. Other

*Comments:*

I NI NP D

Inspection Item

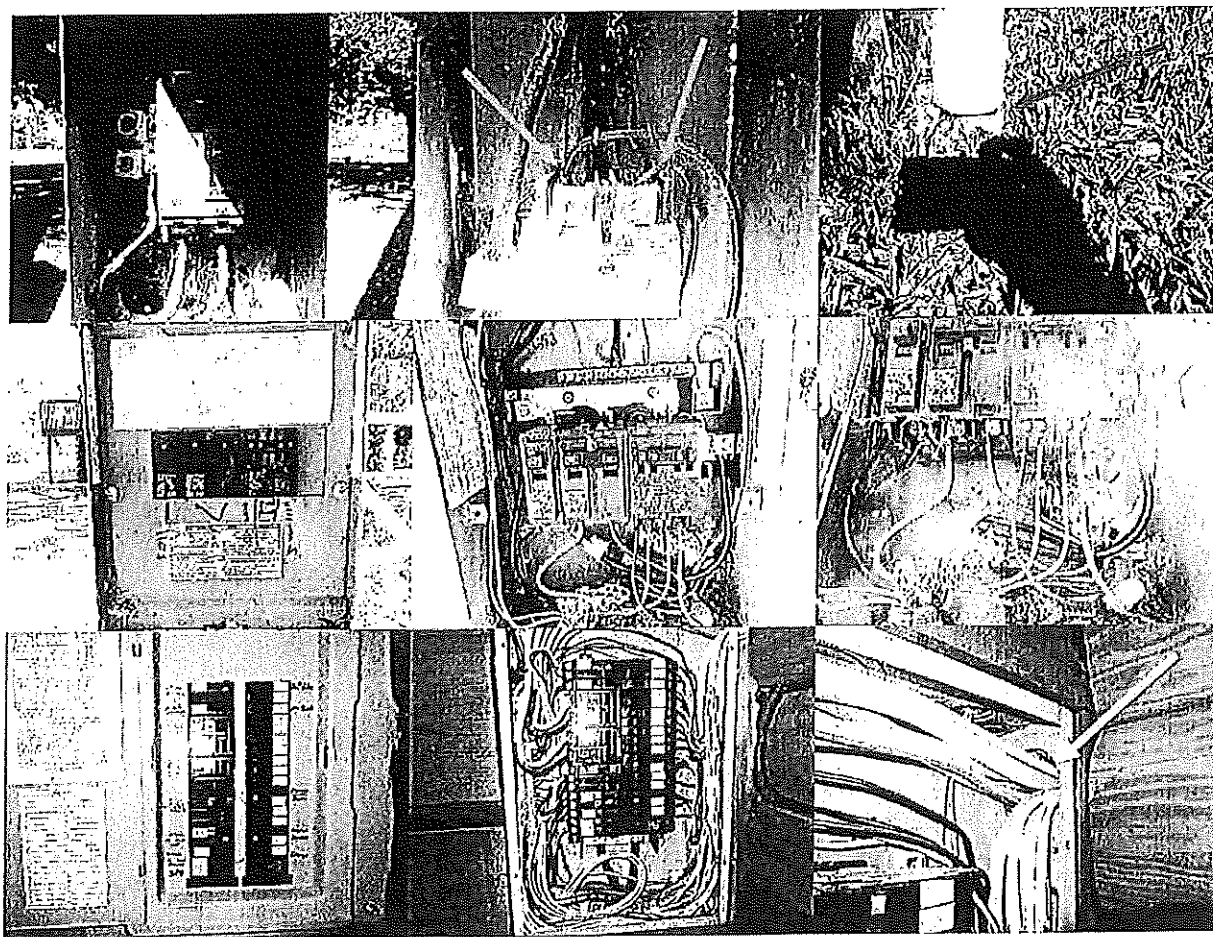
## II. ELECTRICAL SYSTEMS

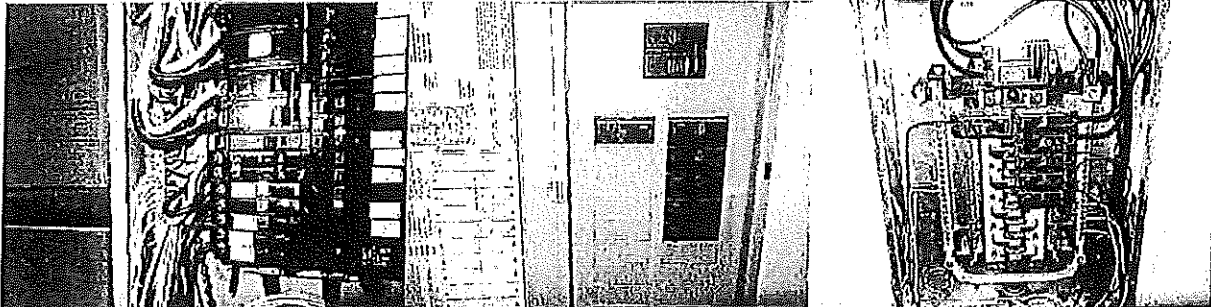
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## A. Service Entrance and Panels

*Comments:* The main disconnect box is on a power pole at the rear of the home. I observed:

- It appears that when the pool was installed, they tapped into the power company side of the main disconnect to provide a service panel for the pool and well. It would be easy to throw the main disconnect and mistakenly think all power was "OFF". That is not the case; the pool breaker panel would still be "HOT" and could injure or kill someone. This should be corrected. (blue arrows)
- Neutral and ground wires are on the same bus in sub-panel installations and should not be.
- Insect nests inside the breaker panel.
- Open conduit at the main disconnect box location.
- Incorrect screws in the dead front cover in some locations; should not have a sharp point.
- Space between the breaker box and dead front cover – combustible wood present.
- Wiring entering the breaker panel without grommets or cable clamps.
- Missing trip ties.
- Comment: There is one 6/2 wire inside the house breaker panel which has a 70amp breaker. It is for the 2<sup>nd</sup> floor furnace. This wire got very hot during operation of the furnace. It could possibly be acceptable for a 75amp circuit however I did not check the type of wiring to verify this. If you are having a professional electrician checking the other items listed above, I suggest that he check this issue as well.
- Breakers are not all permanently labeled.



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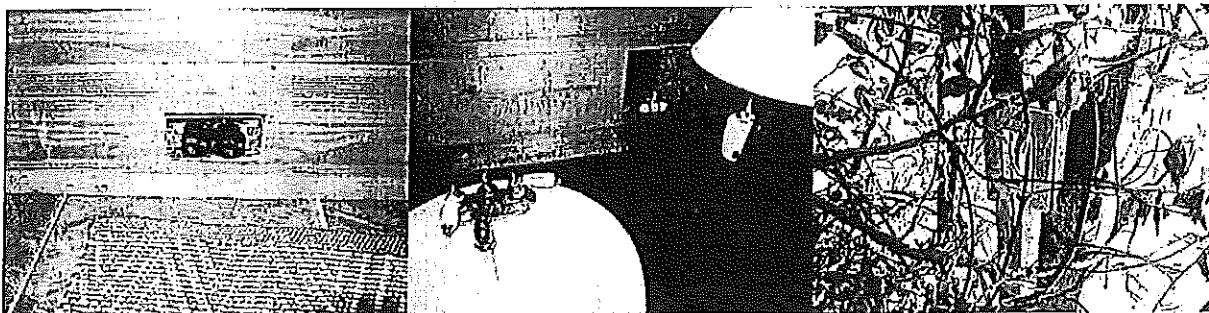
☒ ☐ ☐ ☒

**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Comments:* I observed:

- Missing receptacle cover plates.
- GFCI are not in all required locations and those on site are not all functioning properly.
- Found several receptacles; especially in the kitchen which show a "bad ground". I opened one receptacle cover plate and the ground wire was properly connected. The issue must be somewhere else in the circuit.
- The 3-way switch for the walkway cover lighting is not functioning properly.
- Comment: I did not check for a 3-way light switch at the top and bottom of the stairs. It should be installed if not present.
- Several light fixtures not functioning – may need bulbs.



**III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS**

☒ ☐ ☐ ☐

**A. Heating Equipment**

*Type of Systems:* Central Forced Air Furnace

*Energy Sources:* Electricity

*Comments:* I observed no deficiencies.

☒ ☐ ☐ ☒

**B. Cooling Equipment**

*Type of Systems:* Central Forced Air System

*Comments:* I checked the temperature differential between the return and supply air on each unit. The main house 1<sup>st</sup> floor was 11.5°; main house 2<sup>nd</sup> floor was 19.1°; & the pool house was 21.2°. The temperature should range from 15°-20°. I observed:

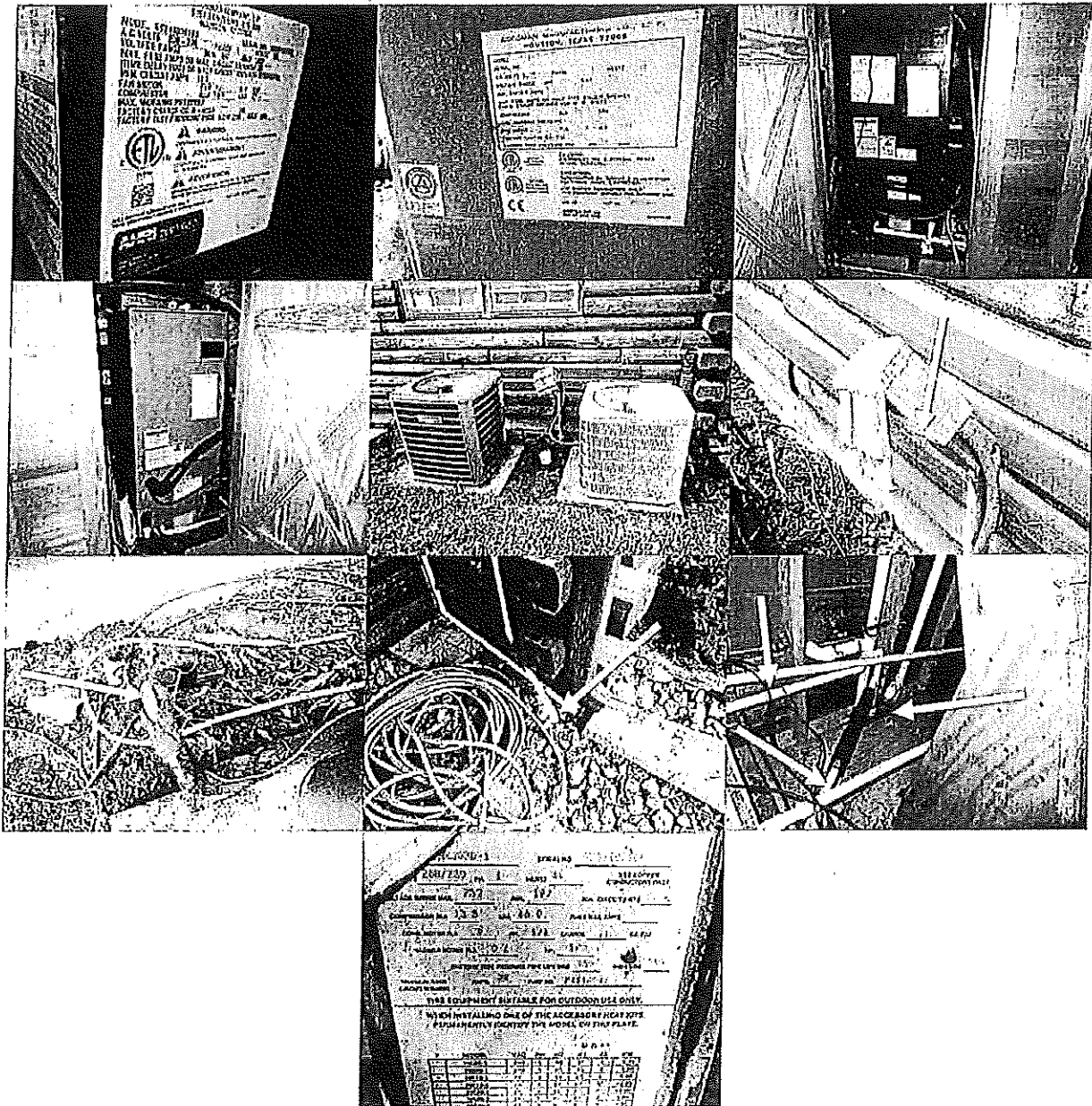
- Main condensate line is not insulated to its termination point. Microbial organism growth seen on the outside of the trap and condensate line in the attic. This is also not an appropriate

Regular check-ups and  
minor repairs/maintenance  
on all units

I	NI	NP	D	Inspection Item
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termination point, as the trap may dry out in the winter and then you may have a sewer smell inside the house.

- One unit has a 40amp breaker installed and the maximum should be 30amp.
- The disconnect boxes on the main house are disconnected from the supply conduit – needs repair.
- Missing insulation on the refrigerant line.
- The main condensate is terminating at the foundation. It should terminate further away so as not to cause a foundation concern.



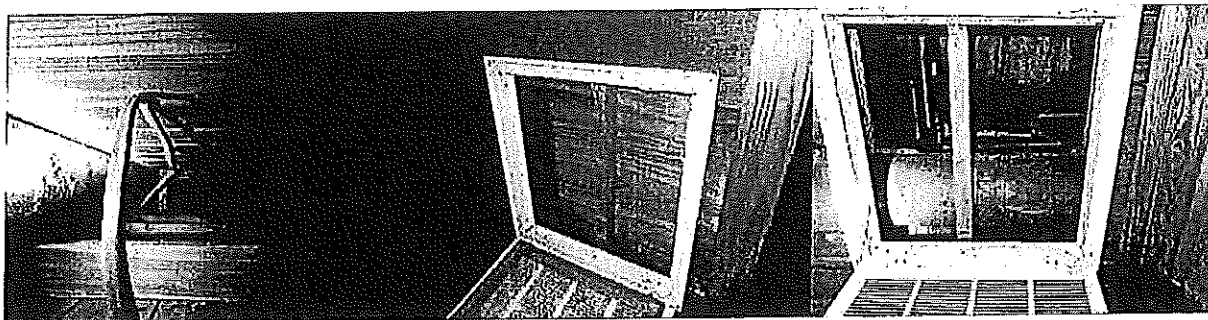
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#### C. Duct Systems, Chases, and Vents

Comments: I observed:

I	NI	NP	D	Inspection Item
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- The return air chase is partially plank siding. I suspect that the planks leak air between the planks themselves which means that air may be bypassing the filter and causing the coils to get dirty – decreased efficiency of the AC unit.
- Comment: Two ducts on one unit are leaking at the plenum; however since the ducts are inside the conditioned space, it should not matter. That is if the insulation is fixed in the attic.



#### IV. PLUMBING SYSTEM

☒ ☐ ☐ ☒

##### A. Plumbing Supply, Distribution Systems and Fixtures

*Location of water meter:* NA

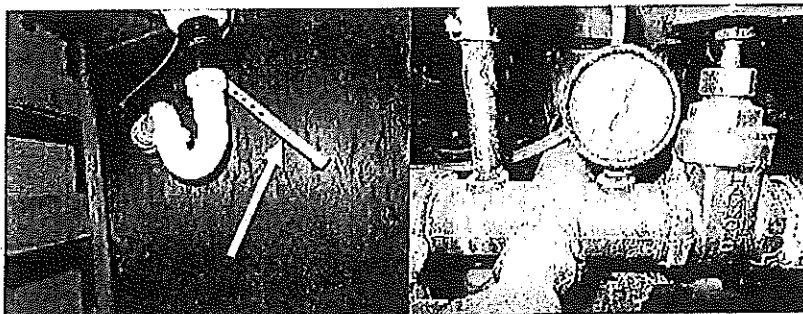
*Location of main water supply valve:* At the well pressure tank.

*Static water pressure reading:* 60psi

*Comments:* The sink in the pool house does not have hot water supplied to it. I observed:

*REPAIRED*

- No backflow devices on exterior faucets.
- Leaking water on the "Hot" water supply at the kitchen sink.
- Slightly loose commode.
- Sink stopper not functioning in at least two locations.



☒ ☐ ☐ ☒

##### B. Drains, Wastes, and Vents

*Comments:* I observed:

*REPLACED*

- Cracked clean-out lid for the septic line.

☒ ☐ ☐ ☒

##### C. Water Heating Equipment

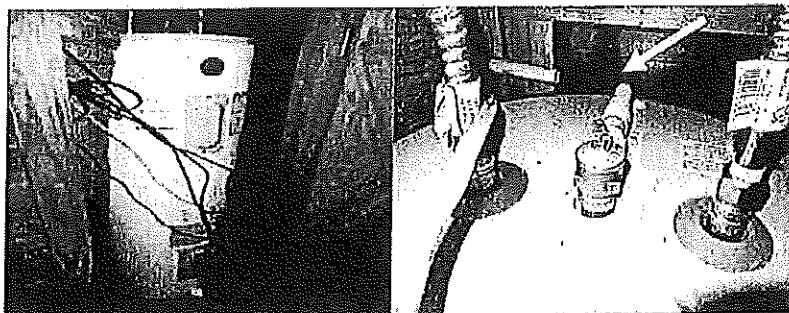
*Energy Sources:* Electricity

*Capacity:* 50 gallons.

*Comments:* I observed:

I	NI	NP	D	Inspection Item
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- I did not see a drain line for the drain pan exiting the building. Should the heater leak, you may have 50 gallons of water in the house.
- The TPR line is disconnected. Should this valve open, you may have 50 gallons of scalding hot water in the house. Please be aware that most manufacturers limit the maximum number of elbows from this valve to the termination point to 4 and a 35' maximum run. The line must also terminate within 6" of grade.
- The unit is not bonded to the water lines.



I did not test the temperature pressure relief valve (TPR) as they tend to stick open after the test. Should you buy this home, I suggest that you test it at that time or replace it out of caution. This is a very important valve as it prevents this unit from exploding should it overheat.

☐ ☐ ☒ ☐

D. Hydro-Massage Therapy Equipment

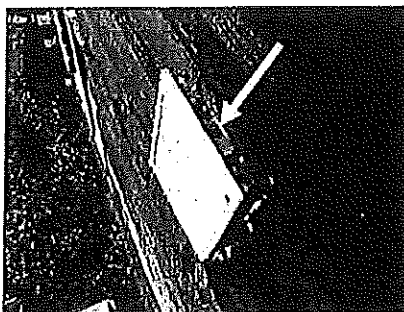
*Comments:*

☐ ☐ ☐ ☐

E. Other

*Comments:*

I	NI	NP	D	Inspection Item
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**V. APPLIANCES**☒ ☐ ☐ ☐**A. Dishwashers***Comments:* I observed no deficiencies.☒ ☐ ☐ ☒**B. Food Waste Disposers***Comments:* The electrical wire to the unit is not secured with a cable clamp. It is generally not a good idea to use a disposal with a septic system. The food can clog the leach field.☒ ☐ ☐ ☒**C. Range Hood and Exhaust Systems***Comments:* One light is not functioning and the wall vent is not covered with a metal flashing. It has only foam insulation to seal it to the wall. Foam will generally absorb the water.☒ ☐ ☐ ☐**D. Ranges, Cooktops, and Ovens***Comments:* I observed no deficiencies. I tested the oven at 300° and it performed at 320°.☒ ☐ ☐ ☐**E. Microwave Ovens***Comments:* I observed no deficiencies.☒ ☐ ☐ ☒**F. Mechanical Exhaust Vents and Bathroom Heaters***Comments:* Several bathrooms do have functioning auxiliary heaters. A bathroom should have either a MEV or an operable window. One bathroom has neither.☐ ☐ ☒ ☐**G. Garage Door Operators***Comments:*☒ ☐ ☐ ☒**H. Dryer Exhaust Systems***Comments:* The dryer exhaust flue terminates into the flower bed. The flue pipe has a screen over it which traps the lint. It should have a backdraft flapper and no screen. This is dangerous as it could clog the flue and overheat the dryer.

*Repaired*



I	NI	NP	D	Inspection Item
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☐ ☐ ☐ ☐

I. Other

*Comments:*

## VI. OPTIONAL SYSTEMS

☐ ☒ ☐ ☐

A. Landscape Irrigation (Sprinkler) Systems

*Comments:* This was not included with this inspection.

☐ ☒ ☐ ☐

B. Swimming Pools, Spas, Hot Tubs, and Equipment

*Type of Construction:* Gunite in-ground.

*Comments:* This was not included formally with this inspection.

☐ ☒ ☐ ☐

C. Outbuildings

*Comments:* This was not included with this inspection (i.e. pump house; storage building; tree houses).

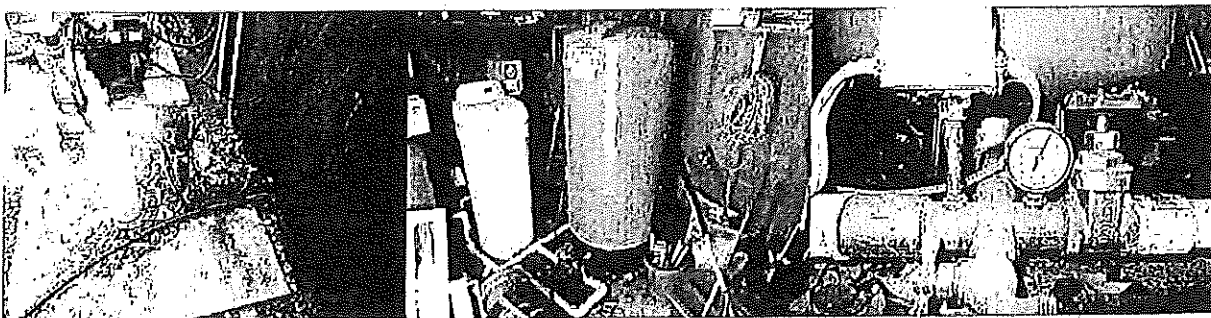
☒ ☐ ☐ ☐

D. Private Water Wells (A coliform analysis is recommended.)

*Type of Pump:* Submersible

*Type of Storage Equipment:* Storage tank

*Comments:* I observed no deficiencies. A water sample was taken and submitted to a laboratory for testing – E. Coli & Coliform. The results will be emailed separately. I did not do a septic system inspection however it appears that the system is more than 100 yards from this well.



☐ ☒ ☐ ☐

E. Private Sewage Disposal (Septic) Systems

*Type of System:*

*Location of Drain Field:*

*Comments:* This was not included with this inspection.



Report Identification: 1326 Happy Hollow Rd.; Brenham, TX

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

☐ ☒ ☐ ☐

F. Other

*Comments:* The ice maker in the pool house was not turned "ON"; water softener system; & fence were not included with this inspection.

## TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Page 1 of 2

1326 HAPPY HOLLOW RD

BRENHAM

77833

Inspected Address

City

Zip Code

## SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 6 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without detecting or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventative treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Board.

## 1A. THE BUG DOCTOR PEST CONTROL

1B. 3569

Name of Inspection Company

SPCB Business License Number

## 1C. P.O. BOX 1626

BRENHAM, TEXAS 77834

979-836-1571

Address of Inspection Company

City

State

Zip

Telephone No.

## 1D. Billy L. Way

1E.

Certified Applicator

[X]

(check one)

Name of Inspector (Please Print)

[ ]

## 2. none

3.

11/10/15

Case Number (VA/FHA/Other)

Inspection Date

## 4A. BLODGETT, KEVIN &amp; JULIANNE

Seller [ ]

Agent [ ]

Buyer [ ]

Management Co. [ ]

Other [ ]

Name of Person Purchasing Inspection

## 4B.

Owner/Seller

## 4C. REPORT FORWARDED TO:

Title Company or Mortgagee [ ]

Purchaser of Service [ ]

Seller [ ]

Agent [X]

Buyer [ ]

(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Board. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

## 6. MAIN &amp; GUEST

List structure(s) inspected that may include residence, detached garage and other structures on the property. (Refer to Part A. Scope of Inspection)

6A. Were any areas of the property obstructed or inaccessible? Yes [X] No [ ]

(Refer to Part B &amp; C, Scope of Inspection) If "Yes" specify in 6B.

6B. The obstructed or inaccessible areas include but are not limited to the following:

Attic	[X]	Insulated area of attic	[X]	Plumbing Areas	[X]	Planter box abutting structure	[X]
Deck	[X]	Sub Floors	[X]	Slab Joints	[X]	Crawl Space	[ ]
Soil Grade Too High	[X]	Heavy Foliage	[X]	Eaves	[X]	Weepholes	[ ]
Other	[ ]	Specify:					

7A. Conditions conducive to wood destroying insect infestation: Yes [X] No [ ]

(Refer to Part J, Scope of Inspection) If "Yes" specify in 7B

7B. Conducive Conditions include but are not limited to:

Debris under or around structure (K)	[X]	Wood to Ground Contact (G)	[X]	Formboards left in place (I)	[ ]	Excessive Moisture (J)	[ ]
Planter box abutting structure (O)	[X]	Footings too low or soil line to high (L)	[X]	Wood Rot (M)	[X]	Heavy Foliage (N)	[X]
Insufficient ventilation (T)	[ ]	Wood Pile in Contact with Structure (Q)	[ ]	Wooden Fence in Contact with the Structure (R)	[ ]		
		Other (C)	[ ]	Specify:			

## 8. Inspection Reveals Visible Evidence in or on the structure:

Active Infestation

Previous Infestation

Previous Treatment

8A. Subterranean Termites

Yes [ ] No [X]

Yes [ ] No [X]

Yes [ ] No [X]

8B. Drywood Termites

Yes [ ] No [X]

Yes [ ] No [X]

Yes [ ] No [X]

8C. Formosan Termites

Yes [ ] No [X]

Yes [ ] No [X]

Yes [ ] No [X]

8D. Carpenter Ants

Yes [ ] No [X]

Yes [ ] No [X]

Yes [ ] No [X]

8E. Other Wood Destroying Insects

Yes [X] No [ ]

Yes [X] No [ ]

Yes [ ] No [X]

Specify: WOOD BORERS

8F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

none

8G. Visible evidence of: WOOD BORERS has been observed in the following areas: OUTSIDE WALLS

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed in the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

Licensed and Regulated by: Texas Department of Agriculture  
P.O. Box 12647, Austin, Texas 78711-2647, Phone: (866) 918-4481, (FAX) 888-232-2587

SPCB/T-4 (Rev. 09/01/07)

Buyer's Initials

The conditions conducive to insect infestation reported in 7A & 7B:

9. Will be or has been mechanically corrected by inspecting company:

Yes ☐ No ☒

If "Yes", specify corrections: \_\_\_\_\_

10A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment as identified in Section 8. (Refer to Part G, H, and I, Scope of Inspection) Yes ☒ No ☐

10B. A preventive treatment and/or correction of conducive conditions as identified in 7A & 7B is recommended as follows: Yes ☒ No ☐

Specify reason: PREVENT FURTHER INFESTATION

Refer to Scope of Inspection Part J

10A. This company has treated or is treating the structure for the following wood destroying insects: NONE

If treating for subterranean termites, the treatment was:

Partial ☐ Spot ☐ Bait ☐ Other ☐

If treating for drywood termites or related insects, the treatment was:

Full ☐ Limited ☐

10B.

Date of Treatment by Inspecting Company

Common Name of Insect

Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes ☐ No ☒

List insects: \_\_\_\_\_

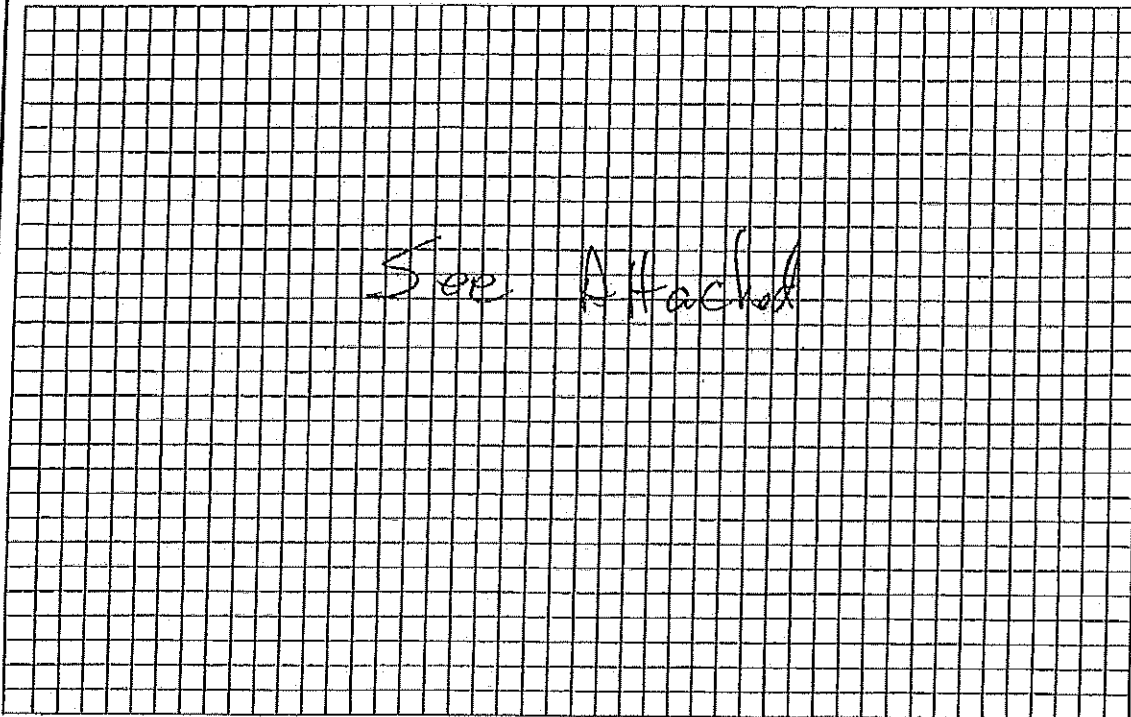
If "Yes", copy(ies) of warranty and treatment diagram must be attached.

### Diagram of Structure(s) Inspected

The Inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes:

E-Evidence of Infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boiling Beetles;

H-Carpenter Ants; Other(s)-Specify \_\_\_\_\_



Additional Comments \_\_\_\_\_

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the property. I do further state that neither I nor the company for which I am acting is associated in any way with any party to this transaction.

Signatures:

11A.

Inspector

Approved:

11B.

Certified Applicator and Certified Applicator License Number

Notice of Inspection Was Posted At or Near

Electric Breaker Box ☐

Water Heater Closet ☐

Bath Trap Access ☐

Beneath the Kitchen Sink ☒

Date Posted

11/10/2015

Date

### Statement of Purchaser

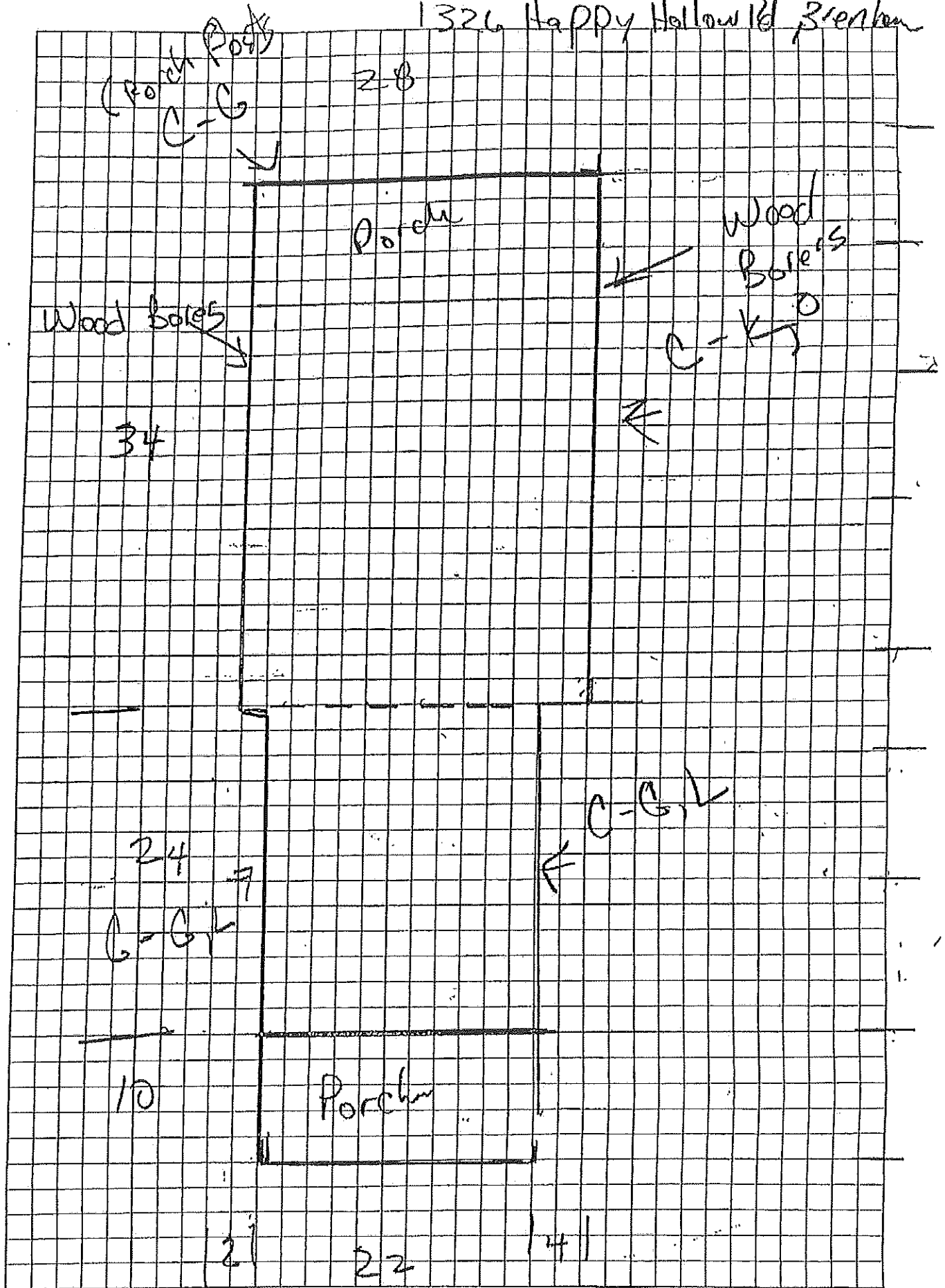
I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: \_\_\_\_\_

Signature of Purchaser or their Designee

Date

1326 Happy Hollow Rd, Brenham



Guesthouse

51

38

G-G/L

Car Port

11326 Happy Hollow Rd  
Brenham, TX

# THE BUG DOCTOR

*( We Kill Our Patients )*

P. O. BOX 1626, BRENHAM, TX 77834

979-836-1571 fx-979-836-1763

## Estimate for Pest Control Services

Date: November 12, 2015

Submitted to: KEVIN & JULIANNE BLODGETT  
1326 HAPPY HOLLOW RD  
BRENHAM, TX, 77833

Service Address: 1326 HAPPY HOLLOW RD  
BRENHAM, TX, 77833

<u>Bldg. Description</u>	<u>Service Type</u>	<u>Price</u>
Main house	Wood Borer ( whole house)	\$4,770.00
	( partial treatment)	\$1,500.00
		+8.25% sales tax

All surfaces to be treated must be stripped of paint, sealer, etc;

☐ Home Exterior ☐ Interior



Benny Me

Specializing In Renovating Log Homes

Customer Name

Katy Pugh

Address

City, State, Zip

Home Phone / Work Phone

• Stain & Seal  
• Clear Coating  
• Corncob Blasting  
• Repair On Rotten Logs

P.O. Box 1508  
Brenham, Texas 7  
Home#: 979-830-  
Cell#: 979-251-41

Certified By Sashco Inc. In Brighton Color

Quantity	Product	Amount
	Change +/- 64 LF of Rotten Logs	
	Material and Labor	\$ 3840
	Instal Cedar caps on some Windows	
	Clean spray foam on interior and Pankle w/ Log Builder	
	Strip Paint of Logs w/ Beetle holes and Painting Labor	\$ 1800.00
	total Bid	\$ 5640.00

Home Owner Agreement

1. The home owner is responsible for protecting any outdoor furniture, plants, BBQ pits, children's toys or any other material that could get stain or water on them during the staining and power washing process.
2. The home owner is responsible for making sure that there are no leaks between logs before staining can begin. If there is a potential for leaking to occur, please discuss this with Benny Medina.
3. The home owner will also be responsible for any leaks or damage from corn cob blasting that may be incurred.
4. The stain crew is not responsible for any damage that may occur during the staining, power washing or blasting of the home.
5. All vehicles must be moved at least 150 feet from location of stain application.
6. If there are any other problems, the stain crew must be made aware of them before the agreement is signed.
7. No work will begin until this agreement is met in full.

Thank you,  
Benny Medina

Home Owner's Signature

Date

11/12/15

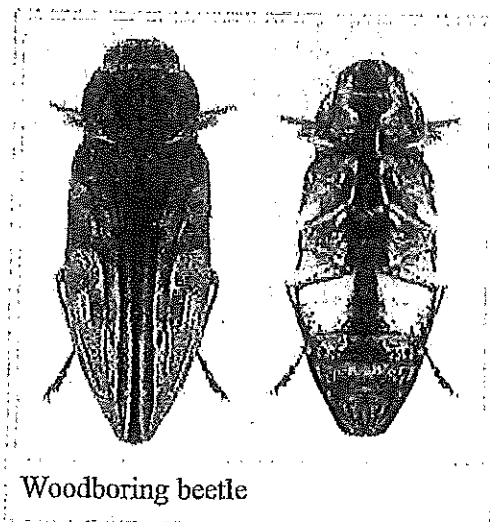
# Woodboring beetle

From Wikipedia, the free encyclopedia

The term **woodboring beetle** encompasses many species and families of beetles whose larval or adult forms eat and destroy wood (i.e., are xylophagous).<sup>[1]</sup> In the woodworking industry, larval stages of some are sometimes referred to as woodworms. The three most speciose families of woodboring beetles are longhorn beetles, bark beetles and weevils, and metallic flat-headed borers.

## Contents

- 1 Ecology
- 2 Invasion and control
- 3 See also
- 4 References
- 5 External links



Woodboring beetle

## Ecology

Woodboring beetles most often attack dying or dead trees. In forest settings, they are important in the turnover of trees by culling weak trees, thus allowing new growth to occur. They are also important as primary decomposers of trees within forest systems, allowing for the recycling of nutrients locked away in the relatively decay-resilient woody material of trees. Though the vast majority of woodboring beetles are ecologically important and economically benign, some species can become economic pests by attacking relatively healthy trees (e.g. Asian longhorn beetle, emerald ash borer) or by infesting downed trees in lumber yards. Species such as the Asian longhorn beetle and the emerald ash borer are examples of invasive species that threaten nature forest ecosystems.

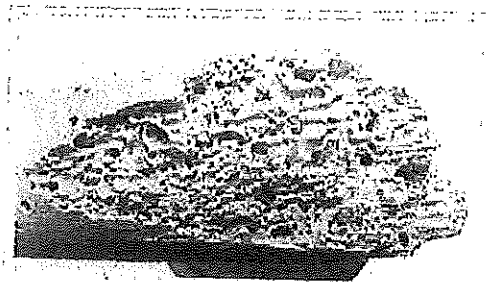
## Invasion and control

Woodboring beetles are commonly detected a few years after new construction. The lumber supply may have contained wood infected with beetle eggs or larvae, and since beetle life cycles can be one or more years, several years may pass before the presence of beetles becomes noticeable. If you have an infestation of woodboring beetles, it is best to consult a professional entomologist before contacting an exterminator. In many cases, the beetles will be of a type that only attacks living wood, and thus incapable of "infesting"



any other pieces of wood, or doing any further damage. In other words, only some types of beetles should be of concern to a homeowner or a household (see list below), and exterminators may be unable or unwilling to make this distinction.

Genuine infestations are far more likely in areas with high humidity, such as poorly ventilated crawl spaces. Housing with central heating/air-conditioning tends to cut the humidity of wood in the living areas to less than half of natural humidity, thus strongly reducing the likelihood of an infestation. Infested furniture should be removed from the house before the infestation spreads.



Fragment of a broomstick affected by woodworms

Methods of treatment include:

- Spot application of pesticides; however, most effective insecticides are obtainable only by certified professionals.
- Freezing. Infested furniture may be wrapped in plastic and placed in walk-in freezers for several weeks.
- Fumigation.
- Heat Treatment. Timber is heated to 50-70 degree Celsius for a few hours.

Some beetles invade wood used in construction and furniture making; others limit their activity to forests or roots of living trees. The following lists some of those beetles that are house pests.

- Ambrosia beetle
- Common furniture beetle
- Deathwatch beetle
- Flat-headed wood-borer
- Powderpost beetle (Anobiidae, Bostrichidae)
- Old-house borers

## See also

- Bark beetles and weevils
- Carpenter ants
- Longhorn beetles
- Metallic flat-headed borers
- Termites
- Wood ants

## References

1. Hickin, Norman E. (19 June 1958). "Woodworm and its control". *New Scientist* 4 (83): 202–204.

## External links

- V. R. Lewis, Environmental Science, Policy, and Management, UC Berkeley; and S. J. Seybold, USDA Forest Service, Pacific Southwest Research Station, Davis, Calif. "Wood-Boring Beetles in

## Entomology, Soils, and Plant Sciences

CU > CARLS > Academics > Entomology, Soils, and Plant Science > Insect Fact Sheets > Household & Structural > Controlling Wood-Boring Beetles In Houses

# Controlling Wood-Boring Beetles in Houses



Powdery wood dust from powderpost beetles often collects in piles in crawl spaces.

After termites, wood-boring beetles are the most important wood-destroying insects in homes. The amount of damage that wood-boring beetles cause depends on many factors. The type of wood (hardwood or softwood), the moisture content of the wood, and the environmental conditions at the infestation site all affect the severity of beetle damage. This fact sheet discusses the identification and control of some of the most common wood-boring beetles found in South Carolina.

## Lyctid Powderpost Beetles

**Description:** In the United States, there are more than thirty-five kinds of lyctid beetles. These are considered the "true" powderpost beetles and the adults are 1/8 to 1/4 inch long. They are slender and range in color from reddish-brown to black. Their heads are obvious when these insects are viewed from above.

**Habits:** Lyctid beetles infest only hardwoods, such as oak. They can live in wood with a wide moisture range, from a dry 8 percent to a very moist 32 percent.

Only the larvae damage wood. The female lays an average of twenty to fifty eggs in crevices or on the ends of boards. When they hatch, the tiny larvae bore down into the wood. As the larvae grow, they bore to a point just underneath the surface of the wood, where they change into adults.

After they change, the adults cut a 1/32 to 1/16 inch circular exit hole in the surface of the wood. Often, powdery wood dust created by the beetle's feeding is pushed out as the adult emerges. This is why they are called "powderpost" beetles.

Males and females exit at the same time and mate, and the new generation of females lays eggs again. The entire life cycle for most lyctid beetles takes 9 to 12 months.



True powderpost beetles are only 1/8 to 1/4 inch in length and range in color from reddish-brown to black. Photo courtesy of Van Waters & Rogers, Inc.

## Anobiid Powderpost Beetles

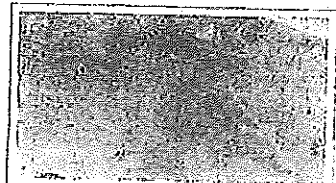
**Description:** There are more than 200 kinds of anobiid beetles, of which very few infest wood. Most anobiid beetles are found in homes. The few that do infest wood are also called powderpost beetles or deathwatch beetles.

The wood-infesting anobiids range from 1/8 to 1/4 inch in length. Their color ranges from reddish brown to nearly black. The body segment just behind the head is hoodlike and completely covers the head when the insect is viewed from above.

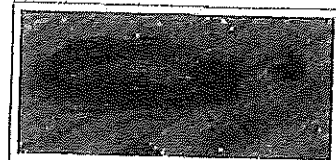
**Habits:** Anobiids can infest both hardwoods and softwoods. Only the larvae feed on wood. They generally prefer wood in cool locations with moisture levels above 14 percent. Anobiids are the most common beetles infesting crawl spaces.

Female anobiid beetles usually lay fewer than fifty eggs under wood splinters, in cracks, or in old exit holes. Like lyctid beetles, the small anobiid larvae bore into the wood, where they eat and develop.

When the larvae change into adults, they chew round exit holes between 1/16 to 1/8 inch in diameter. The male and female emerge together and mate, and the female deposits her eggs. Though the females fly well and can lay eggs at new locations, they are most likely to lay their eggs on the board from which they emerged. Most anobiid beetles take 2 to 3 years to complete their development.



True powdery beetles can damage hardwood furniture such as this walnut drawer.



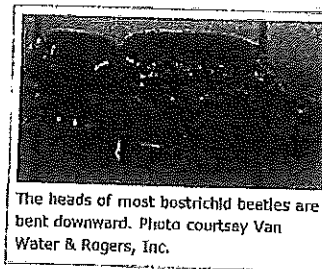
Anobiid or deathwatch beetle can infest hardwoods or softwoods. Photo courtesy Van Waters & Rogers, Inc.

## Bostrichid Powderpost Beetles

**Description:** Bostrichid beetles are sometimes referred to as "false" or "large" powderpost beetles, bamboo borers, or even lead-cable borers. The adults range in color from reddish brown to black. They range in size from 1/8 to 1/4 inch. Like anobiid beetles, the segment just behind the head conceals the head from above. The heads of most bostrichid beetles are directed downward.

Most bostrichid beetles cause much less damage in homes than lyctid or anobiid beetles. Most bostrichid beetles bore into freshly cut hardwoods, but a few will attack softwoods. Unlike lyctid or anobiid beetles, both adults and larvae of the bostrichid beetle damage wood.

Adult females bore "egg tunnels" into wood to deposit their eggs. After hatching, the larvae tunnel into the wood to feed and grow. Under most conditions, the larvae complete their development by the spring of the year following egg-laying. Adults cut 3/32 to 9/32 inch, round exit holes when they emerge. The adults rarely reinfest the wood from which they emerge.



The heads of most bostrichid beetles are bent downward. Photo courtesy Van Water & Rogers, Inc.

## Old House Borers

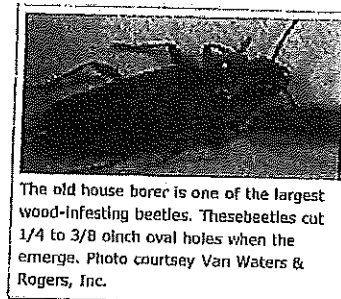
**Description:** The old house borer belongs to a group called cerambycid beetles, which are also known as long-horned beetles. Most long-horned beetles are wood borers in the larval stage, but only the old house borer is a serious pest in homes.

Adult old house borers range from 5/8 to 1 inch in length. They are brownish black in color, with many gray hairs on the head and forepart of the body. The segment just behind the head has a shiny raised bump on each side, giving it the appearance of a face.

**Habits:** Old house borers infest seasoned softwoods, especially pine. They can be found in old houses, as their name suggests, but they are actually more common in new homes.

The females lay about fifty eggs in cracks and crevices in wood. The larvae penetrate the wood to feed, but they often stay near the surface. Larvae usually require 2 to 3 years to develop in wood with 15 to 25 percent moisture, but they can take as long as 15 years to develop in very dry wood.

Usually, larvae become adults in the spring, but they may not emerge immediately. When they do exit, the adults cut oval holes about 1/4 to 3/8 inch in diameter. Adults are normally most active in June and July.



The old house borer is one of the largest wood-infesting beetles. These beetles cut 1/4 to 3/8 inch oval holes when they emerge. Photo courtesy Van Waters & Rogers, Inc.

## Control

There are several factors you should consider before starting control measures for wood-boring beetles. The first is that no control may be necessary. Many homes have some damage from wood-boring beetles. However, in many cases the damage is very minor and old, which means that all the beetles have died. Unless you see beetles or fresh wood powder around the holes, chemical treatment is not necessary. Fresh wood powder is usually light in color and does not clump. Old wood powder is often yellowed and clumps together.

Also, there are many beetles in nature that attack wood but do not cause serious damage or reinfest lumber in homes. It is important to know which beetles you have before you go to the trouble and expense of some of the treatments.

Finally, with the advent of central air conditioning and heating, the potential for widespread damage has decreased. In fact, even with the more serious lyctid and anobiid beetles, if a house has no moisture problems, has a central cooling and heating system, and is not unoccupied for long periods, serious problems are not likely.

## Spot Treatments

For active wood-boring beetle infestations, several spot treatments are possible. These include controlling wood moisture, using surface covers, mechanical removal, freezing, and insecticide treatments.

Moisture problems are most commonly found in the lumber in crawl spaces. A crawl space should be well ventilated and, in many cases, should have a vapor barrier. Generally, plastic sheets (4 mil polyethylene) covering 70 percent of the crawl space will keep the lumber from getting too moist. Surface cover, including paint, polyurethane, and water sealants, will protect wood from moisture problems and help prevent wood-boring beetles from penetrating the wood.

Surface treatments usually do not prevent beetles already in wood from emerging. If an infestation is limited to a few pieces of lumber, or if the lumber can be removed easily, replacing the wood may be the best control strategy.

Freezing temperatures can kill wood-boring beetles, especially in small furniture. If you have access to a large freezer, you might want to consider this control option. Wood subjected to freezing should be wrapped in plastic. Freeze the item for about two weeks. After removing it from the freezer, leave the item wrapped until it reaches room temperature. This protects the wood from water marks due to condensation as the item warms. Also, handle the item carefully since glue joints are very fragile when frozen.

Most insecticides for wood-boring beetles are restricted and can be used only by certified pest control operators. You may be able to find some insecticides at hardware or discount stores labeled for wood-boring beetles around the home, but very few products are available to the public any longer. Before applying insecticide, remove any surface covering, such as paint, so the insecticide can penetrate the wood. As with any insecticide, you must follow the specific instructions on the label of the product you buy. Since pest control operators have access to a wider range of insecticides and equipment, your best option may be to employ a professional.

## Fumigation

in situations where spot treatments have failed or in serious infestations where there are large numbers of beetles throughout the structure, fumigation may be the best control option. The penetration of fumigants can kill wood-boring beetles in all areas of the home. However, fumigants cannot prevent future wood-boring beetle infestations.

Fumigation is expensive, complicated and can only be done by a certified pest control operator. Before employing a professional, get quotes from several reputable firms.

## Damage by Common Wood-Boring Beetles

Insect Type	Wood Type	Age of Wood <sup>a</sup>	Shape & Size of holes	Reinfestations <sup>b</sup>
Anobiid Beetles	Soft & Hard	New & Old	Round 1/16" - 1/8"	Yes
Bostrichid Beetles	Soft & Hard	New & Old	Round 3/32" - 9/32"	Rarely
Lyctid Beetles	Hard	New & Old	Round 1/32" - 1/16"	Yes
Old House Borer	Soft	New & Old	Oval 1/4" - 3/8"	Yes

<sup>a</sup> New Wood is freshly cut or unseasoned lumber. Old wood is seasoned or dried lumber.

<sup>b</sup> Many other wood-boring beetles can initially infest new wood in homes, but their damage is limited and they do not reinfest.

Prepared by Eric P. Benson, Extension Entomologist/Associate Professor and Patricia A. Zungell, Extension Entomologist/ Professor, Department of Entomology, Soils, and Plant Sciences, Clemson University.  
EHS/HS-10 (New 10/1998) (Revised 01/2001).

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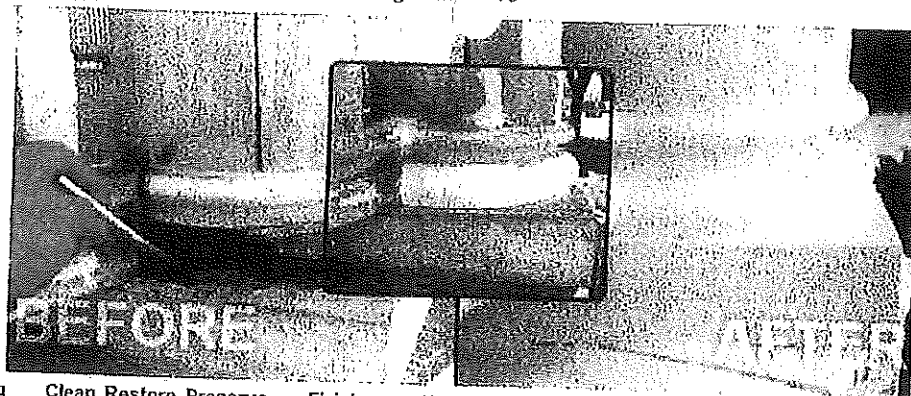
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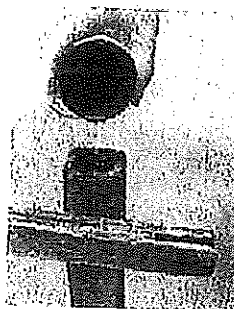
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## LiquidWood®



Price varies with quantity

### Options

#### Quantity \*

- ☐ 2 Pints \$38.95 \$36.95
- ☐ 2 Quarts \$67.90 \$63.95
- ☐ 2 Gallons \$175.95 \$167.95
- ☐ 10 gallons \$734.95

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### DETAILS

crp0015-lw

LiquidWood® can be poured, brushed, or injected into areas of rot and reinforces, rebuilds and waterproofs wood by hardening after penetrating.

LiquidWood® is considered both a consolidant and a primer.

- **Consolidant:** Consolidation with LiquidWood® is the restoration and reinforcement of wood by impregnation with a special resin that hardens after penetrating. With LiquidWood®, a piece of deteriorated wood that would crumble under finger pressure can be impregnated and restored to rigidity, durability, water, insect and weather resistance superior to that of the original wood.
- **Primer:** LiquidWood® is also a primer and surface consolidant on rotted and porous surfaces, for subsequent applications of WoodEpoxy®, paints or glues.

### LiquidWood® consists of 2 clear liquids:

...the resin (A), and the hardener (B). When A and B are mixed by simple stirring, a blend is formed with unusual properties to impregnate and restore wood and other porous masses.

### Restore Rotted Wood in Four Easy Steps

1. **Prepare wood:** Remove old paint, dirt and debris. Clean oily surfaces with detergent, water or solvents.
2. **Apply LiquidWood®:** To strengthen the wood, apply LiquidWood® with a brush, or pour directly on the surface. LiquidWood® penetrates and hardens.
3. **Apply WoodEpoxy®** (sold separately) when you need to rebuild missing pieces of wood and fill cracks and holes.
4. When hard you can sand, paint, stain or nail.

Remember to read the complete instructions as to storage, wood prep, temperature, proper mixing...

**Note:** 2 pints/quarts/gallons means 1 part of each A & B for two parts total. (e.g. 1 pint A and 1 pint B = 2 pint kit).

**Note:** You can thin LiquidWood® (up to 10%), with Zylene or MEK to dilute LiquidWood®.

://www.loghomestore.com/1140-liquidwood.php

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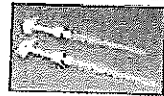
to get a consistency similar to CPES (an epoxy that we won't ship due to its hazardous shipping classification), however it won't have quite the structural capabilities that undiluted LiquidWood® has.

Normally this isn't a problem as in log repairs the liquid epoxies are used to fill in the areas where some (punky) wood remains and your goal is to get a consistency to the liquid such that it will flow into these areas.

**Note:** Wood needs to be dry to use LiquidWood®. You can accomplish this by brushing on either Isopropyl Alcohol or Acetone, which mix with the water and quickly evaporate (think about how gas tank fuel drier works). It's always best to use a moisture meter to verify wood is dry. Think about this for a moment...If you leave damp/wet wood behind your patch, there is a chance of the rot process continuing behind the patch, rotting new wood, destabilizing your patch (it would now be attached to rotted wood), and your patch would eventually fall out...Additionally the LiquidWood® won't set properly (some say it will look a bit like mayonaise), and you'll have to scrape it out, clean the area with Acetone and start over.

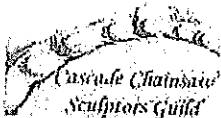
**Note:** Use above 50 degrees Fahrenheit. Or apply heat lamps, torpedo heater or other heat source to area within 2 hours of application. Sooner is better.

### Related Products

 <b>Wood Restoration Kit</b> <a href="#">READ MORE</a>	 <b>WoodEpoxy® - Paste</b> <a href="#">READ MORE</a>	 <b>Plunger set for LiquidWood®</b> <a href="#">READ MORE</a>
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Keywords: epoxy, epox, liquid epoxy, liquid wood, Abatron, rot, wood rot, repair wood rot, repair wood, wood repair wood epoxy, Wood epox, woodepox, Abatron wood epoxy, structural wood repair, fix rotted wood, fix log rot, repairing wood rot around windows, repairing wood rot on windows, repairing wood rot exterior, repairing wood rot door frame, repairing wood beams, guardian wood rot, replacing wood rot, get rot wood repair

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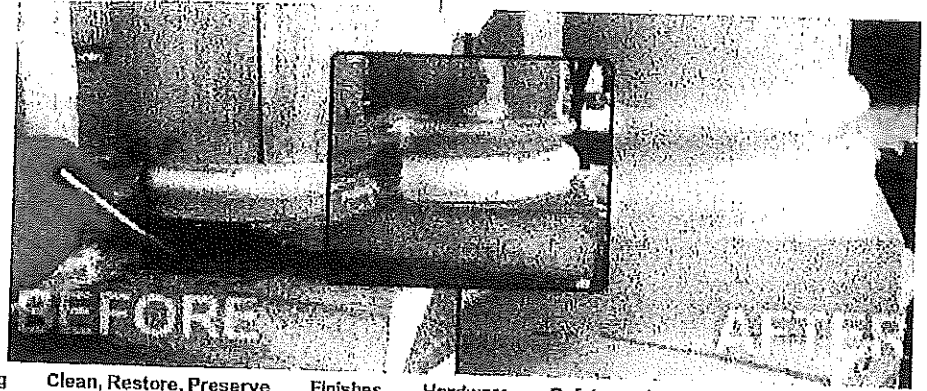
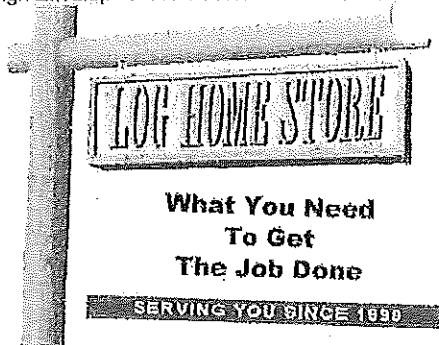


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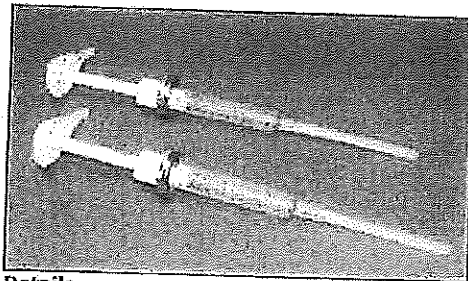
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## Plunger set for LiquidWood®



Details

\$9.95

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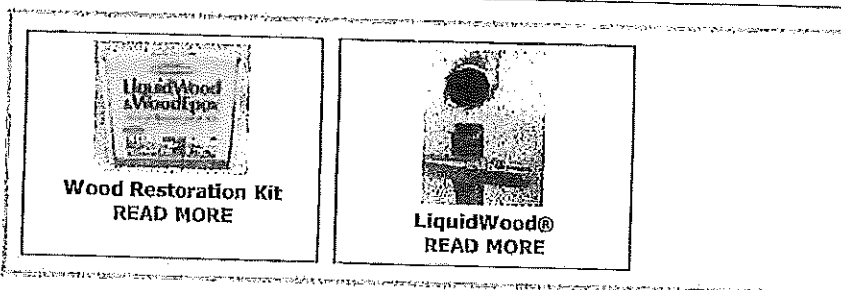
### DETAILS

crp0021-pumps

Dispensing Pumps/Plunger set (2) for Liquid Wood quart or gallon sizes

- **Very convenient** for dispensing a fluid ounce of LiquidWood® (A) or (B) with each depression.
- Fits oblong gallon containers.
- One pair of pumps per pack.
- Remove and clean dispensing pumps when storing for a long period of time as they're not totally air tight.

### Related Products



Keywords: dispensing pumps, plungers, liquid wood, epoxy, dispensing plungers, plungers

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