

PARENT TAX PARCEL: 1240000010
LOCATED IN THE 141ST G.M.D. OF
GREENE COUNTY, GEORGIA
BOUNDARY DEED REFERENCE: D.B. 1133, PG. 315
BOUNDARY PLAT REFERENCE: P.B. 14, PG. 145

THIS BLOCK RESERVED FOR THE
CLERK OF THE SUPERIOR COURT.

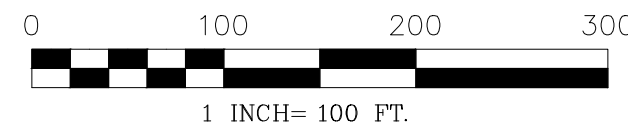
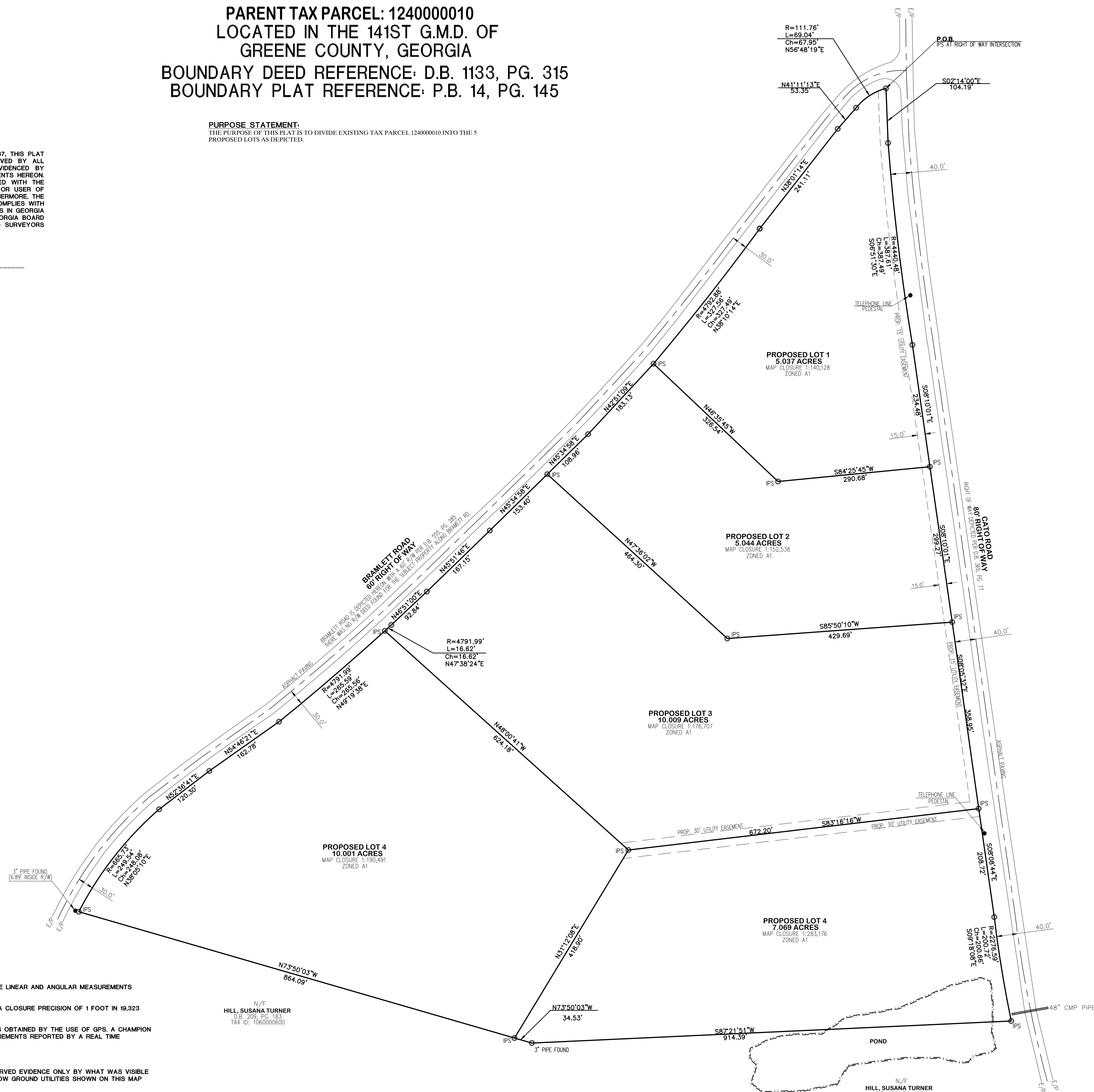
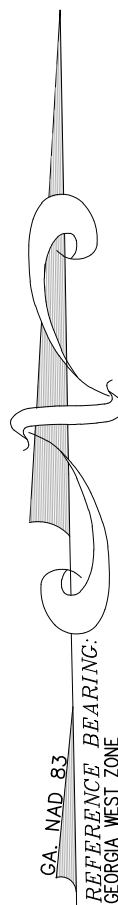
AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL OF LOCAL OFFICIALS, SIGNATURES, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS AND SIGNATURES SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO THE INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE TECHNICAL REQUIREMENTS OF THE RULES AND REGULATIONS OF THE SURVEYING BOARD AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Joseph P. Brewer Ga. RLS #3209 7-20-2020

1. A LEICA TS12 ROBOTIC TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.
2. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 1 FOOT IN 19,323 FEET AND WAS ADJUSTED USING LEAST SQUARES.
3. THE HORIZONTAL DATUM FOR WHICH THIS SURVEY IS BASED WAS OBTAINED BY THE USE OF GPS. A CHAMPION NETWORK RTK ROVER WAS USED TO COLLECT CORRECTED MEASUREMENTS REPORTED BY A REAL TIME NETWORK OPERATED BY EGP'S SOLUTIONS, INC.
4. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE.
5. UTILITY PIPES, LINES, AND APPARATUS'S SHOWN ARE FROM OBSERVED EVIDENCE ONLY BY WHAT WAS VISIBLE ABOVE GROUND OR MARKED ON THE GROUND BY OTHERS. ALL BELOW GROUND UTILITIES SHOWN ON THIS MAP SHOULD BE CONSIDERED APPROXIMATE LOCATIONS.
6. THE BEARING BASIS USED TO PREPARE THIS PLAT IS BASED UPON NAD-83, GEORGIA STATE PLANE, EAST ZONE COORDINATES. ALL DIRECTIONS AND DISTANCES SHOWN HEREON ARE A GROUND LEVEL PROJECTION OF THE SYSTEM.
7. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE ABSTRACT AND EASEMENTS MAY AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

LEGEND

☆IP =	LIGHT POLE
☉PP =	POWER POLE
—X— =	FENCE LINE
—P— =	OVERHEAD POWER LINE
C/L=	CENTERLINE
DB=	DEED BOOK
PB=	PLAT BOOK
P.O.B.=	POINT OF BEGINNING
P/L=	PROPERTY LINE
N/F=	NDW OR FORMERLY
LL =	LAND LOT
RBF =	REBAR FOUND
OTF =	OPEN TOP PIPE
IPS =	1/2" REBAR WITH CAP SET



ACRE GROUP, INC.
139 W WASHINGTON STREET | MADISON | GEORGIA 30650 | 706.431.4990

DIVISION PLAT OF SURVEY FOR:

PAY MY LAND, INC.

SHEET:
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