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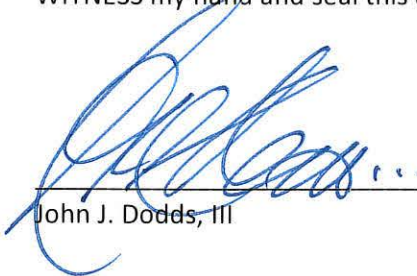
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## RULES AND REGULATIONS AND GUIDELINES OF ANCHORAGE PLANTATION HOMEOWNERS ASSOCIATION

The undersigned John J. Dodds, III, attorney for Anchorage Plantation Homeowners Association ("Association"), does hereby certify that the attached fifty-six (56) pages constitute the current Rules and Regulations and Guidelines of Association and are being recorded in the Register's Office for Charleston County, South Carolina in accordance with the requirements of Section 27-30-130, Code of Laws of South Carolina, 1976, as amended.

WITNESS my hand and seal this 8<sup>th</sup> day of January, 2019, at Mount Pleasant, South Carolina.

 \_\_\_\_\_ (Seal)  
John J. Dodds, III

CISA & DODDS, LLP  
858 LOWCOUNTRY BLVD  
SUITE 101  
MOUNT PLEASANT, SC 29464

# **Anchorage Plantation**

## **Architectural Review Guidelines**



January 2015

This is the Official Version of the Anchorage Plantation Architectural Review Guidelines. These Guidelines supersede any previous versions of the ARC Guidelines.

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Preliminary Design Review Application

Final Design and Plan Review Application

Design or Construction Change Application

Landscape Plan Application

Final Inspection Application

## **I. Preface**

### **A. Purpose of Design Guidelines**

The objective of the Design Guidelines is to create a comprehensive set of standards that will allow for the orderly and cohesive development of Anchorage Plantation. These Guidelines are to be used by a property owner, builder or developer as a tool to build a community that is consistent with the stated goals. The Guidelines will help ensure the community matures into one that provides for a higher quality of life as well as one in which property values are protected. The Guidelines establish criteria for architectural design, site improvements, and landscaping. They establish the process for review of proposed construction and modification of existing structures. The intent is to allow an owner maximum flexibility in expressing individual taste within the framework of community standards.

### **B. Master Plan Concept**

Anchorage Plantation is a planned residential community of 74 building sites with lot sizes ranging from 3 acres to 14 acres. The Master Plan incorporates traditional planning concepts to create a distinctive Lowcountry community. Live Oaks accent the Lowcountry concept that has been adopted by the community. Residential design style will be historical Lowcountry with covered porches and distinctive rooflines similar to those found in the South Carolina Coastal Plain.

### **C. Architectural Review Committee**

The Architectural Review Committee (ARC) has been established in accordance with the recorded Covenants, Conditions and Restrictions for Anchorage Plantation to administer the Design Guidelines. The ARC will be comprised of 3 to 5 members appointed by the Board of Directors of Anchorage Plantation Property Owners Association. Any property owner may request to serve on the ARC and non-resident design consultants may serve at the invitation of the committee. The ARC is charged to ensure compliance with the design and review processes described below and to ensure that all construction is completed according to the approved plans. To maintain this goal, any construction and/or landscape installation or modification that takes place without the approval of the ARC will not be tolerated and will result in fines and/or legal remedies.

#### D. Anchorage ARC Orientation

A lot owner(s) planning to build must meet with the ARC for a mandatory orientation to the review process before submitting an application for Preliminary Review. This informal meeting will provide an opportunity for the lot owner(s) and the ARC members to meet each other, to discuss the role of the ARC and the Guidelines in the review process, and to discuss the lot owner's concept for the prospective home design. The orientation's goal is to establish early communication between the lot owner and the ARC so that the subsequent review process will be as efficient and pleasant as possible for the homeowner and to ensure the architectural design chosen by the homeowner reflects the historical Lowcountry style established for Anchorage Plantation. Lot owners are welcome to bring architects/designers/builders to the meeting. No formal plans or other documents are necessary at this meeting; however, during the discussion of the design concept, the committee welcomes input in the form of sketches, photos, drawings or ideas from the lot owner. This is a mandatory orientation. The lot owner should contact the Property Management Company to schedule a meeting in advance.

## **II. The Design Process**

To meet the development objectives of Anchorage Plantation, the owners and designers must follow a comprehensive design process. This process began with the development of the Master Plan concept and continues with improvements to the Anchorage Plantation community, all in accordance with the community's Master Plan.

The property owner must thoughtfully consider the integration of each site and house design. The sum of the site and house (the parts) will help to shape the image and character of the Master Plan (the whole as it reflects the entire community).

#### A. Site Visit, Analysis and Survey

Each property owner must visit the site and conduct a visual survey of the setting, the immediate surroundings, and the broader environment. It is recommended that the design professional and/or builder be involved and a part of the siting process. It is imperative that all designers and/or builders fully understand the particulars existing on each site and their context.

A site analysis is required for each lot. This must include parts of surrounding areas and take into account the potential impact of the building site from key vantage points, including neighboring lots. Elements of the site analysis are to be incorporated into the site plan and should include the following:

- Identification and description of views and vistas
- Descriptions of special or unusual features on or adjacent to the site, (e.g. trees, marshes, ponds, dock walkways, etc.)

To assist with the site analysis, it is recommended that a thorough survey of landform (topography) and vegetation be prepared. The survey should provide sufficient detail to allow careful attention to all environmental issues. Please refer to the Appendix and Preliminary Design Review Application for other required site analysis requirements.

## B. Building Design Guidelines

The ARC will review only designs completed by an architect or a registered designer. Creative and sensitive architectural solutions are encouraged to complement each site, to express the design concept of individual property owners, and to contribute to the community as a whole.

The residential designs require a historical Lowcountry Plantation or Charleston style. This style exhibits certain characteristics and features that respond to building shape, function, and site. Examples of these historic styles may be found in Plantations of the Lowcountry (N. Jane Iseley, William P. Baldwin, Jr. Agnes L. Baldwin). Please refer to the photographs throughout these Guidelines for exhibits of architectural elements that reflect historical Lowcountry plantation or Charleston style.

Questions concerning appropriate style may be discussed at the Orientation meeting.

### 1. Forms

Pitched roofs and generous overhangs are recommended. Height and profile are determined by historical reference. Massing should be scaled to the site, again recognizing the surroundings.

## 2. Vertical Massing

Vertical massing shall be carefully resolved, again looking to historical reference.

## 3. Layout

Open planning is recommended to allow cross ventilation. Glazed areas (windows and doors with glass inserts) should be used to capitalize on views and vistas, while keeping to the historical nature of Lowcountry proportions and designs.

## 4. Space

High ceilings are desirable. In order to develop inside-outside relationships, rooms should open onto porches, terraces, decks and balconies.

## 5. Setting

Integration of grounds, drives, parking, and gardens is essential. House, courtyards, and porches should create a unified design solution. Consideration should be made if an auxiliary building or pool is intended in future plans.

## 6. Detailing

Detailing of structures at Anchorage Plantation must give proper consideration to the architectural style in use, the construction technology available, and the environment of the Carolina Coastal Plain. Environmental considerations include the hot summer sun, heavy seasonal rains, high humidity and salt content of the air, prevailing seasonal breezes, cold winter winds off open areas, soil characteristics, and the occasional tropical storm or hurricane.

## 7. Building Size

Minimum heated square footage is calculated as the total of all interior areas within the roofline of the building, exclusive of open porches, terraces and similar areas. Houses shall not exceed three stories in height or the maximum height guidelines established by Charleston County. The minimum square footage has been set at 2500 for all homes at Anchorage Plantation. The number of buildings on the lot is restricted to one dwelling and one accessory building.

The accessory building may be a guesthouse, pool cabana, boathouse or free standing garage. Sheds, utility or storage buildings are not permitted. Construction of an accessory building will only be reviewed/approved in conjunction with or after the construction of the main building. All accessory buildings must follow the Guidelines and design of the main dwelling.

#### 8. Exterior Elevations

Materials used and construction techniques employed shall be primarily those that are typical to the Carolina Coastal Plain. Low-maintenance materials are encouraged. Roof colors and textures and exterior wall materials should be compatible with the setting and reflective of Lowcountry traditions.

Following is a list of approved elevation materials:

##### Approved Siding Materials

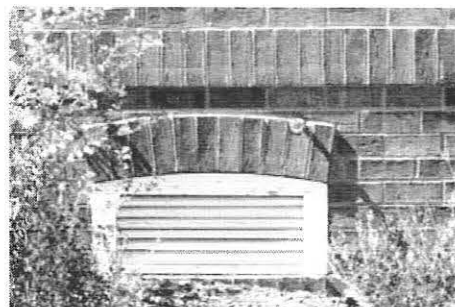
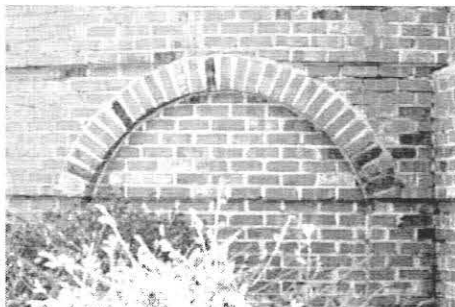
Brick  
Wood, painted or stained  
Cementitious Stucco  
Horizontal Wood Siding/ Cement  
Tabby

##### Approved Window and Trim Materials

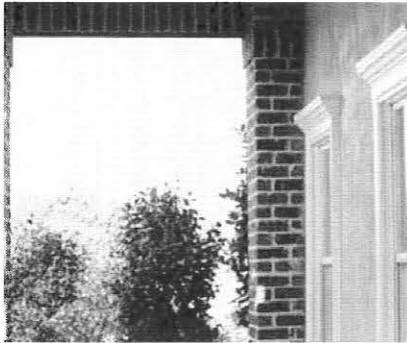
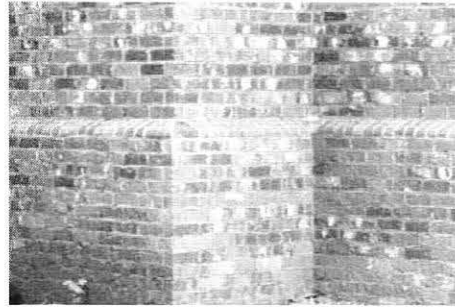
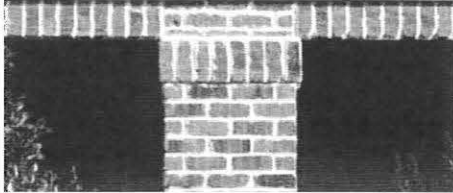
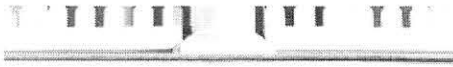
Vinyl Clad Windows  
Wood Windows

Other materials may be considered by the ARC on a case-by-case basis. The ARC shall determine the appropriateness of exterior materials and colors for all construction.

If the house and/or foundation are brick the following are examples of Lowcountry architectural elements including a water table:







## 9. Roofs and Dormers

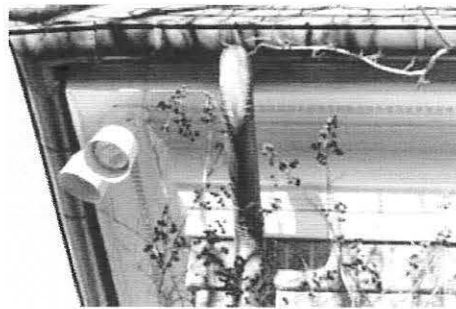
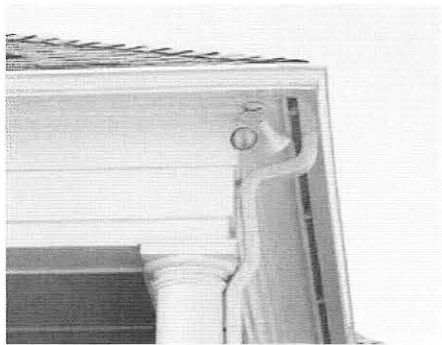
A minimum roof pitch of 6/12 is required for the major roof structure. Roof material may be dimensional architectural grade asphalt shingles (25-year or better), metal, or slate. Colors that are compatible with the elevations and surroundings should be used. Roof vents and accessories should be located on the part of the roof unseen from the right-of-way and must be painted to match the roof color.





#### 10. Gutters and Downspouts

Gutters shall match the fascia trim color or they shall be copper. Downspouts shall match the exterior wall trims or be copper. A gutter and downspout plan must be reviewed by the ARC before installation of the gutter and downspout system.



#### 11. Chimneys

Flue pipes shall be cased in a chimney enclosure that matches exterior materials.





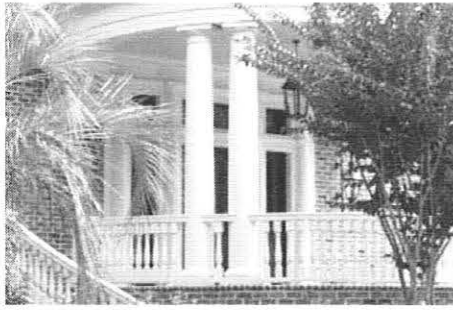
## 12. Balconies

Balconies cantilevered or supported with columns are encouraged on high-profile houses to promote outdoor living, to capitalize on views and vistas, and to assist in scale and massing. The size and location of balconies shall depend upon lot setbacks established by the Code of Ordinances of Charleston County.

## 13. Porches

The use of porches is preferred and will be reviewed on a case-by-case basis. The size and location of porches shall depend upon lot setbacks established by the Code of Ordinances of Charleston County. Porch roof fascia is considered a design element and should be substantial enough to enhance the house as seen from the street. The major porch on the front of the dwelling must have an exterior beam (fascia) in correct proportion to the front porch and front elevation of the house. The ARC will take into consideration the depth of the fascia on an individual basis. Columns used on balconies should be substantial in size to enhance the house.



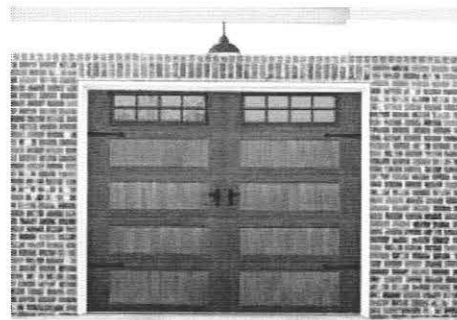


#### 14. Patios, Terraces and Decks

Outdoor uncovered living areas should be constructed with materials and colors that are compatible with the exterior materials and detailing of the house. Railings should be consistent with the architectural character of the house. Patio and terrace surfacing materials should be concrete, stone, or pavers.

#### 15. Garage Doors

It is strongly recommended that garage doors not be part of the front elevation of the house. However, if the design requires that the garage doors be part of the front elevation, they must be an integral part of the overall architectural style of the house.



#### 16. Entry

The primary front entrance must be a traditional door design with a sense of prominence that distinguishes it from other entrances. It should be sheltered on the exterior and have prominent single or double doors and detailing that is consistent with the house style. Front doors must have decorative side light (glass pane) trim such as a transom, a fan arch, or side lights along the vertical sides of the door.

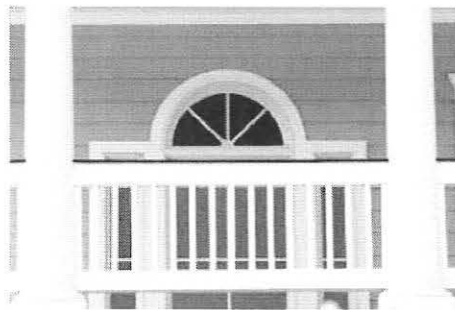
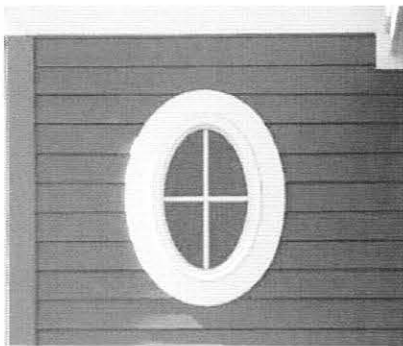
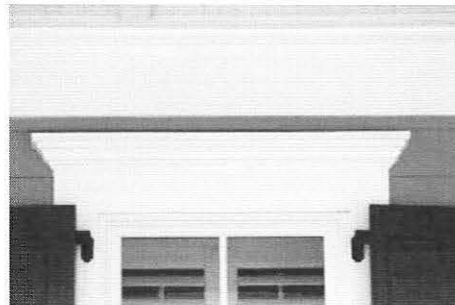
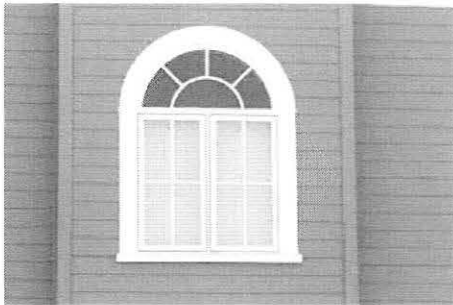
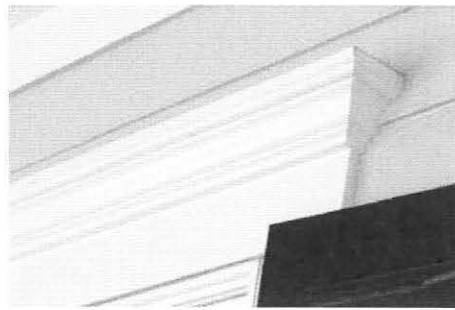
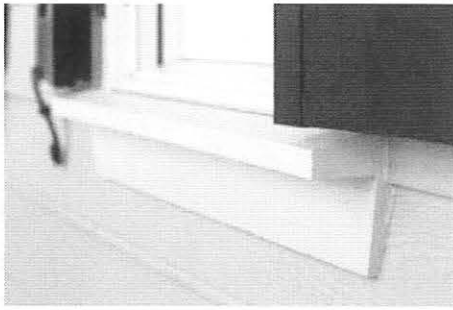


#### 17. Shutters

Shutters must have hardware and be dimensioned to completely cover the window when closed. All shutters must be operable.

#### 18. Window and Door Trim

Exterior window and door trim packages should be substantial enough to enhance the overall appeal of the house when viewed from a distance. Windows must have substantial mantel and sill trim. Portrait trim is not permitted. Windows with divided lights must have exterior dividers of substantial depth. Careful thought should be given to the pane configuration of the windows to adhere to the Lowcountry style.

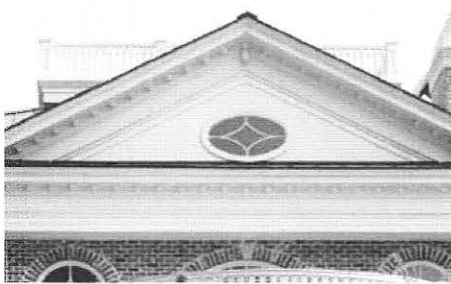
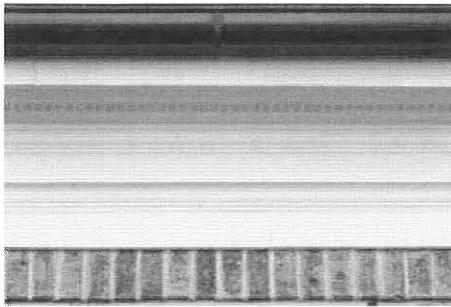
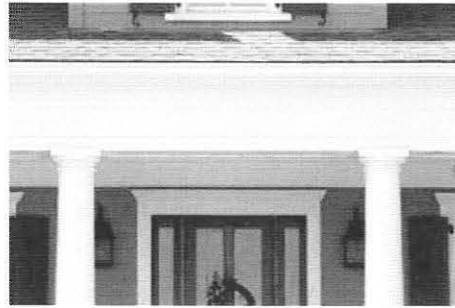


## 19. Exterior Trim

Please refer to the photographs in these Guidelines which show examples of exterior trim. Exterior trim needs to be substantial enough to be seen from the street.

## 20. Fascia

The major and minor fascia should be in correct proportion to the house and apparent on the elevations. The fascia is a design element and should be substantial enough to enhance the house as seen from the street. The ARC will take into consideration the depth of the fascia on an individual basis.



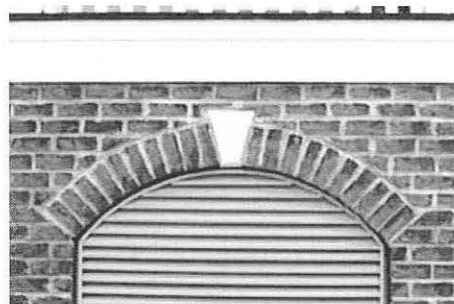
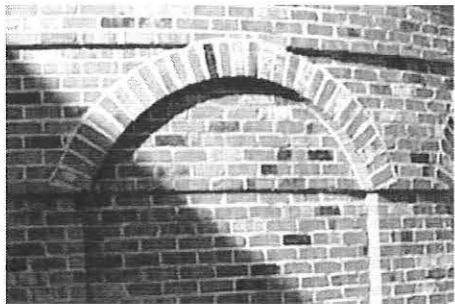
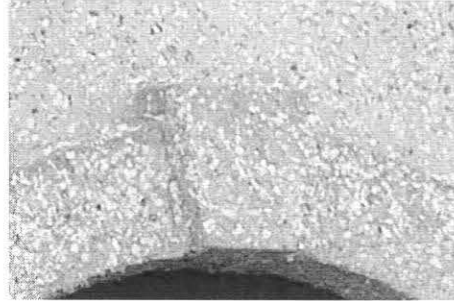
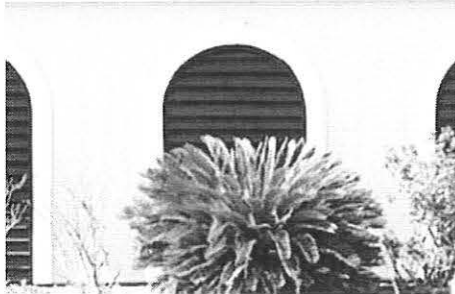
## 21. First Floor Elevation

In accordance with the Charleston County ordinances and FEMA standards for Anchorage Plantation, the minimum first floor elevation is 13 feet above sea level.



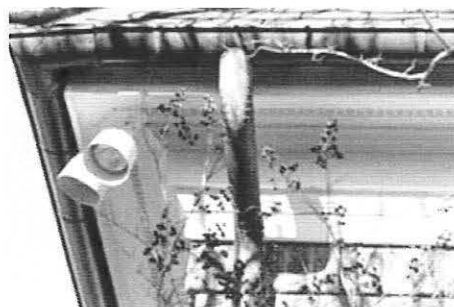
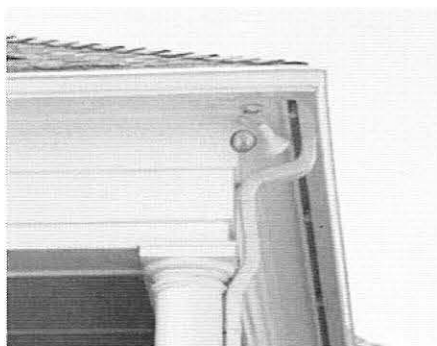
## 22. First Floor Arches

The following are examples of Lowcountry style arches.



## 23. Lighting

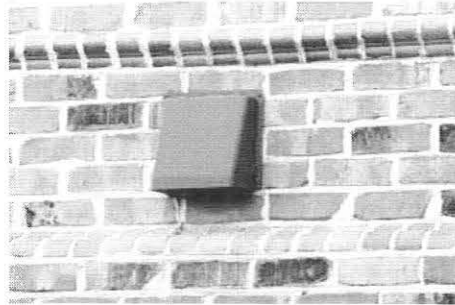
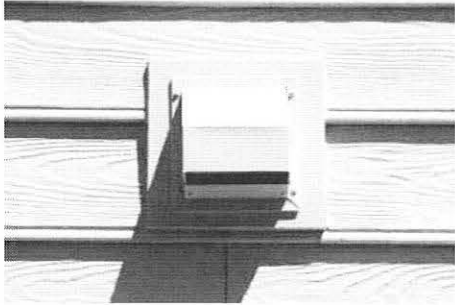
Lighting sources shall not illuminate directly adjacent lots. Illumination of surfaces such as walls, walks, and decks is permissible. Approved decorative wall sconces, porch lanterns, lampposts, and landscape lighting is permissible. Porch lighting may include wall washers and recessed fixtures that illuminate the entry surface. Floodlights are to be hooded and not impinge upon neighboring property. Utility lighting such as power company light post is prohibited. Motion sensor lights must be capable of being turned off.





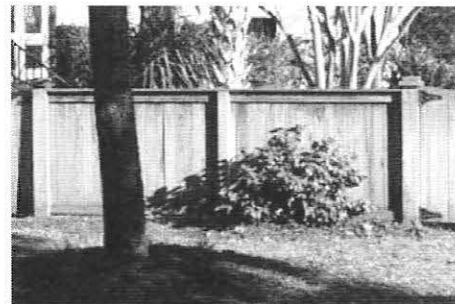
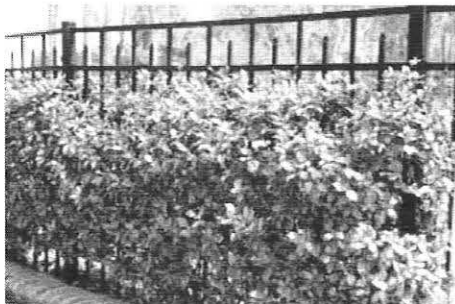
#### 24. Utilities and Vents on Exterior Walls

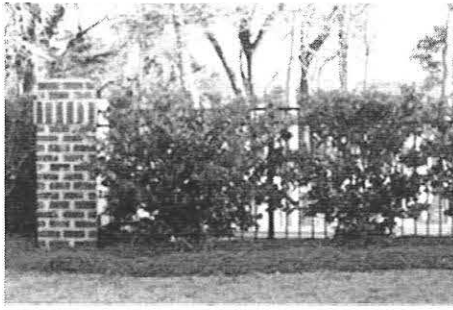
Utilities and vents on exterior walls must be painted to match the wall.



#### 25. Fences and Walls

Fences should be compatible with the architectural style of the house and should be used primarily for screening and defining outdoor space. Both fencing and evergreen shrubs are required to screen HVAC equipment. Fencing for the screening of utilities shall be louvers made on site from 1x4 or 1x6 boards. Lattice is not approved for utility area screens. Fencing or landscape materials may be used to screen trash receptacles, boats, trailers, basketball courts and other items required to be screened by the Declaration of Covenants Conditions and Restrictions or by Rules and Regulations as may be adopted, from time to time, by the Board of Directors of the Association. Fences should maintain a reasonable scale to the house and not block desirable views and vistas or negatively impact adjacent lots. The maximum height is 4'. Walls are permitted. Split rail, vinyl, chain link or welded wire fencing is not allowed. Pet pens, dog runs, etc. must be screened from adjacent right-of-ways and lots.





All pools must be fenced in compliance with the Charleston Builders Code Section 3109.

26. Storage of RVs, Vehicular-Type Equipment, etc.

The storage of boats, trailers, campers, RVs, and other vehicular-type equipment is not prohibited on Anchorage Plantation. Campers, RVs and other vehicular-type equipment must be stored in closed storage. Such storage must be approved by the ARC and be compatible with other structures on site and approved design concept.

27. All Buildings Must Be Built On Site.

28. Additional Special Requirements

No exterior structure of any kind or any artificial vegetation or sculpture shall be constructed, erected or placed on the outside portion of a residence, whether the portion is improved or unimproved, except in strict compliance with the Covenants, Conditions, and Restrictions.

C. Site Design Guidelines

1. Clearing and Grading

Site grading of a specific lot shall be kept to a minimum, and alterations to existing drainage systems shall be avoided. Any necessary grading shall maintain a natural appearance. See Section III: The Review Process prior to clearing or grading.

2. Setback Requirements

Minimum building square footage: 2500 sq. ft.

- Front: 150 feet
- Side: 20 feet

- Rear: 20 feet
- Waterfront: 75 feet from critical line
- Open porches, steps, or overhangs shall not be within the setback
- Open decks are not considered in the lot coverage, but they must meet all setback requirements
- Maximum Building Height: See Charleston County Ordinance

Consult the Code of Ordinances of Charleston County for any and all other requirements relating to zoning issues.

All information contained herein is subject to change without notice and should be verified.

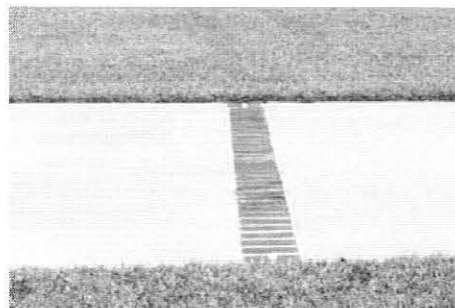
### 3. Utilities

All utility services at Anchorage Plantation have been placed underground. Junction boxes, HVAC and electric meters must be screened with fencing and evergreen shrubs as needed so that they are screened from view. Fencing for the screening of utilities shall be louvers made on site from 1x4 or 1x6 boards. Lattice is not approved for utility area screens.

Exterior television and radio antennas and large size satellite dishes are not permitted, except as required by Federal law, and then pursuant to rules adopted therefore by the ARC in conformity with Federal regulations and guidelines. Satellite dishes should be concealed from view if possible. Solar collectors or other utility structures must be reviewed and approved by the ARC on an individual basis, and in all approved cases must be screened from view.

### 4. Driveways

All dwellings must have a driveway. Driveway materials may consist of concrete, stamped concrete, colored concrete in the earth-tone colors, pea gravel concrete, 57 stone, crushed oyster shell, oyster shell concrete, brick pavers, and grass block-paving system. Poured concrete drives should have a minimum thickness of 4 inches. The use of welded wire mesh is optional. Asphalt drives are not permitted. If 57 stone or crushed oyster shell is to be used, a paved apron extending a minimum distance of 30 feet from the edge of the road must be used. An approved edging material consistent with the design concept must be used to contain driveways of crushed oyster shell or 57 stone.



The ARC requires a topographic survey of the area where the driveway is to be located on the site plan. This survey must be shown on the site plan and should include spot elevations of the corners of the 30' concrete apron, spot elevations along the base of the existing swale, and spot elevations of the base of the required concrete culvert beneath the driveway.

The ARC does not permit a driveway of any kind on the lot unless a Final Design and Review Application for a dwelling has been approved by the ARC.

## 5. Walkways

Walkways are required from the front door of the house to the driveway with a minimum width of 3 feet. Materials may be the same as identified for driveways. Concrete walkways are to be constructed of 3000 psi with a light broom finish. Control joints are to be spaced at intervals of five feet, and expansion joints at intervals of 30 feet.

## 6. Fences

Privacy fences and fencing used for screening are allowed. The finished side of fences must always face out from the lot. The maximum height for any fence is 4 feet. Perimeter fencing is not permitted. Fencing should not block desirable views and vistas or negatively impact adjacent lots. Wood, wrought iron or anodized aluminum are allowable materials. Dark colors are preferred for fences made of aluminum. Chain-link, split-rail, vinyl and welded wire fencing are not allowed. All pools must be fenced in compliance with the Charleston Builders Code 3109. Please see Section II.B.25 Fences and Walls.

Fencing for the screening of utilities shall be louvers made on site from 1x4 or 1x6 boards. Lattice is not approved for utility area screens.

## 7. Walls

Walls may be constructed of brick or stucco over concrete block. If the house is brick, the bricks in the wall should match. The maximum height of all walls is 4 feet. Retaining walls may be constructed of brick, stucco over block, and pressure treated timber.

## 8. Mailboxes

All mailboxes will be uniform, of consistent design and composition, and determined by the ARC. Contact the Property Management Company to order or replace a mailbox and its components at the owner's expense.

## 9. Pools

The ARC will review all pools on an individual basis. Pool and equipment enclosures must relate architecturally to the house and other structures in their placement, materials, and detailing. No above ground pools or inflatable bubble covers will be allowed. All pools must be fenced in compliance with Charleston County Builders Code Section 3109. The fence must be installed as soon as the pool construction is complete, and the homeowner must immediately notify the ARC that the pool and fence are installed and ready for inspection. Any pool that is not in compliance with the CCBC will be immediately reported to the County and fines imposed.

#### 10. Tennis Courts

Tennis courts are allowed and need to be approved by the ARC. Tennis courts may be required to be screened from adjacent roadways and lots and may not be illuminated.

#### 11. Docks

All dock construction must be reviewed by and approved by the ARC committee. (Please refer to HOA Covenant Article 4). Dock builders must have South Carolina Contractors and/or South Carolina Maritime License.

A copy of the SCDHEC permit must be submitted with the Application.

A nonrefundable environmental impact fee of \$1000.00 is required for new dock construction plus a refundable compliance deposit of \$1000.00 and a non-refundable ARC inspection fee of \$200.00. The compliance deposit shall be refunded to the owner following work-site inspection.

New dock construction requires the placement of an outdoor toilet and dumpster on the lot prior to construction. The construction period of a new dock should be limited to four (4) months, such period beginning with the receipt by the HOA of the fees required and the placement of the toilet and dumpster, with any extension request due before the deadline expires. Failure to complete the dock, including clean-up of the site and inspection by the ARC, by the deadline will result in a daily fine of \$100.00.

Some lots on Anchorage Plantation are prohibited from dock construction or have restrictions (only crabbing docks) concerning the construction of docks pursuant to the Army Corps of Engineers. Please see Section VI Wood Stock Area.

In accordance with The Army Corps of Engineers, only one (1) boat may be moored at each single family dock and no more than ten (10) boats may be moored at the community dock. The community dock must be used for temporary mooring only, with no permanent moorage of boats.

#### 12. Screening of Boats and Trailers

Boats and their trailers, and motorcycles must be screened from view and shall not be stored on streets. Such screening is subject to ARC review and approval. Visiting RVs and campers must not be parked on the street or so as to be visible from the street.

*Revised 3/26/16  
See Attached Next  
Page 25.5*

#### 13. Signs

Signage is limited to temporary builder signs. The size shall not exceed 4 X 3'. All signage must be removed within 30 days of visible occupancy of the homeowner. Any other signage must be approved by the ARC.

### III. The Review Process

All plans for new residential construction and for additions, alterations, and renovations to existing houses and lots must be reviewed by the ARC. Property owners are strongly encouraged to attend the Preliminary and Final Review meetings of the ARC. Please refer to the forms found in the Appendix for specific instructions and application requirements. The ARC will not review any plans submitted by a lot owner who is in arrears for any HOA dues and/or assessments.

The ARC will meet as necessary and will make every effort to provide convenient meeting dates and times to homeowners in the review process. All applications should be submitted to the Property Management Company.

The ARC will review the plans and contact the applicant to set up a meeting within a reasonable period of time. The homeowner, design architect and/or builder are encouraged to attend the meeting. Immediately after the meeting, the ARC will meet in private and prepare a written response to the homeowner.

When the plans are approved, a full-size set of the plans will be stamped "ARC Approved" and returned. The other full-size set will be retained on file with the Property Management Company.

II.C.12!

With written ARB approval, a, defined as 1 (one), boat may be parked beside or behind an owner occupied dwelling which may in some instances not be fully screened from view from the street. The boat and its trailer must be in serviceable condition and not in a state of disrepair. The boat may not exceed 30 feet in center line length. The storage of the boat must not exceed the front limits of the dwelling



The review process is the same for all major reviews: Preliminary Design Review; Final Design and Plan Review; and Landscape Design Review. Complete checklists and instructions can be found on the application forms in the Appendix.

To begin the review process, please follow the instructions on the appropriate form. All of the items on the checklist must be submitted in order for the application to be accepted. If the submission is not complete, the application will be rejected, and the applicant will be notified of the deficiencies.

If the ARC does not grant approval of the plans, the property owner may meet with the ARC to resolve any issues, discuss options and ideas, etc. If the ARC recommends design changes, the re-drawn pages may be submitted by fax, mail, or email to the ARC in care of the Property Management Company.

When the ARC is satisfied with the response to the requirements and/or recommendations, the drawings will be stamped "ARC Approved". The property owner will be notified if another ARC review meeting is required.

#### A. Preliminary Design Review

##### Prerequisite: Orientation Meeting

A lot owner planning to build must meet with the ARC for a mandatory orientation to the review process before submitting an application for Preliminary Review. This informal meeting will provide an opportunity for the lot owner and the ARC members to meet each other, to discuss the role of the ARC and the Guidelines in the review process, and to discuss the lot owner's concept for the prospective home design. The orientation's goal is to establish early communication between the lot owner and the ARC so that the subsequent review process will be as efficient and pleasant as possible for the homeowner and to ensure the architectural design chosen by the homeowner reflects the historical Lowcountry style established for Anchorage Plantation. Lot owners are welcome to bring architects/designers to the meeting. No formal plans or other documents are necessary at this meeting; however, during the discussion of the design concept, the committee welcomes input in the form of sketches, photos, drawings or ideas from the lot owner. This is a mandatory orientation.

The lot owner should contact the Property Management Company to schedule a meeting in advance.

The Preliminary Design Review provides the opportunity for the property owner to share the building exterior design and site plans with the ARC before committing to final construction drawings. The ARC will be looking for compliance with the Guidelines. If the design is consistent with the Architectural Review Guidelines, one set of full-size drawings will be stamped "ARC Approved" and returned to the property owner. If the design is not consistent with the Architectural Review Guidelines, the property owner will be notified of the specific area of inconsistency. If changes are required on the Preliminary Design review, the homeowner will be asked to re-draw the sheet where the changes were noted.

The Preliminary Design Review Application is mandatory and shall contain the checklist items included on the Application for Preliminary Design Review form found in the Appendix. A nonrefundable, architectural review fee, the amount to be determined by the architect, made payable to Anchorage Plantation HOA by the property owner, is required along with the Preliminary Design Review Application.

Please note that the first submission to the ARC is considered a Preliminary Review. The Preliminary Design Review Application must be approved prior to applying for the Final Design and Plan Review.

#### B. Final Design and Plan Review

##### Prerequisites:

- Orientation Meeting
- Preliminary Design Review completed
- "ARC Approved" stamp on preliminary design drawings

After receiving the ARC approval for the Preliminary Design Review, construction drawings should be completed, incorporating any outstanding ARC requirements and/or recommendations, and submitted to the ARC through the Property Management Company for Final Design and Plan Review. The Landscape Plan Application is due at the same time as the Final Design and Plan Review Application. See Section V Landscape. This will be

the last major review before starting construction. Please refer to the Final Design and Review Application form in the Appendix for instructions and a list of items to be submitted for this review.

As in the Preliminary Design Review, the ARC will be looking for compliance with Architectural Review Guidelines. The ARC will also be looking for the incorporation of all ARC requirements and/or recommendations from the Preliminary Design Review.

A nonrefundable environmental impact due to construction fee in the amount of \$1500.00, made payable to Anchorage Plantation HOA by the property owner, is required along with the Final Design and Plan Review Application. The \$1500.00 fee applies to a planned home of 3,000 square feet or less of air conditioned and/or heated space. Homes larger than 3,000 square feet shall be assessed a fee equal to 50 cents for each square foot.

Refundable Construction Deposits:

- \$5,000.00 - Builder
- \$5,000.00 - Owner

These deposits are refundable minus any fines assessed during construction for ARC Guideline violations, any fines assessed for construction not in compliance with the approved Final Application, and any expenses incurred by the HOA to repair damage to roads, common areas, and other lots as a result of the construction.

The lot owner and builder will be required to sign a Construction Agreement with the HOA agreeing to build the home according to the approved plans and in compliance with the ARC Guidelines and the HOA Covenants. See Appendix Final Design and Plan Review Application.

The Final Design and Plan Review must be completed and plans stamped "ARC Approved" prior to starting construction. ARC approval is valid for twelve (12) months from the stamped date of approval.

### C. Changes During Construction

The approved Final Application Review, including plans, material worksheets, examples, photographs, and any exhibits submitted to the ARC becomes a legal and binding document.

Construction must follow exactly the approved Final Application Review submission as stated above.

No construction changes are allowed without first going through the change process described below:

If changes to an approved plan become necessary during construction, the property owner must immediately notify the ARC who will determine if the change is minor or major. In order to make this determination, the ARC will need to receive a drawing of the proposed change and the Design or Construction Change Application form. To expedite the process the drawing and form can faxed or emailed to the Property Management Company. Please refer to the Design or Construction Change Application form in Appendix for instructions.

### D. Minor and Major Changes

For a minor or major change, the owner should submit the Design or Construction Change Application Form and drawings to the property management company. A major change requires full review from the ARC. If the change is approved, the homeowner will be notified and receive the Application with the stamped approval. The ARC will retain a copy of the Application and drawing. If the change is not approved, the ARC will make recommendations regarding the change. If the ARC needs the opinion of an architect, a landscape architect, and/or engineer during its review of a major change to the approved plans during construction, the ARC will charge the homeowner for the professional's fee, such fee to be determined by the professional(s).

Please note that unauthorized changes will result in a fine or other legal actions. Please refer to Section IV.B.3 Permits and Fines.

#### E. Final Inspection

To confirm plan compliance, the ARC will conduct a Final Inspection of all planned construction and landscaping within 45 days of visible occupancy of the house.

#### F. Enforcement

The design and review guidelines contained herein have been developed to encourage good design, to preserve community resources and to enhance and maintain property values. To maintain these goals, any construction that takes place without ARC approval will result in fines. (See section IV.B.3: Permits, Deposits, Fees, and Fines). If further enforcement is necessary, other legal remedies may be pursued.

### **IV. The Construction Phase**

In order to maintain attractive surroundings and to promote a safe environment for residents and guests, the following guidelines have been developed for Anchorage Plantation to control contractor activities during the construction phase.

#### A. General Regulations

##### 1. Time Limit of the Construction Phase

All construction on a particular property must be completed within an eighteen (18) month period, commencing with the initial clearing of the lot. Approved landscaping construction must be completed within 45 days of visible occupancy of the house.

##### 2. Site Inspections during Construction Process

The ARC shall inspect the building site periodically during construction for compliance with the approved Final Application and with the ARC Guidelines.

##### 3. Builder Requirements

All home builders at Anchorage Plantation must be licensed by the State of South Carolina, have all required business licenses, and maintain liability insurance coverage as shall be required by the ARC of all residential home builders. A South Carolina Residential Builders

License is the minimum licensing requirement. Proof of liability insurance of \$1,000,000.00 aggregate and any surety bond required by the SC Residential Builders Commission is required of the general contractor prior to the approval of any construction application. Proof of insurance and bond must be filed with the ARC before site work or construction of any kind occurs.

#### 4. State and Local Code Compliance

All construction must comply with Federal, State, and local laws, codes and ordinances.

#### 5. Construction Entrance

A gravel construction entrance of 57 stone should be provided and maintained in each lot during the construction period. A concrete culvert must be installed for the construction driveway.

#### 6. Signage

The general contractor may post the standard identification sign and permit sign on the lot during the construction phase. The size shall not exceed 4 X 3'. Any other signage must be approved by the ARC. All signage must be removed within 30 days of the visible occupancy of the home.

#### 7. Working Hours

Working hours for all construction activities shall be restricted to the following:

- Monday through Friday: 7:00 AM to 7:00 PM
- Saturday: 9:00 AM to 6:00 PM
- Sunday: No work allowed

#### 8. Gate Code

A temporary contractor's code will be issued by the Property Management Company to be used by the contractor, architect, vendors and crews. There will be no use of the homeowner's personal gate code.

## 9. Conduct of Workers

The conduct of workers is the ultimate responsibility of the general contractor. Inappropriate behavior will not be tolerated. Loud vehicles, radios, etc., or any other machine that is not directly related to construction activities and can disturb residents, will not be tolerated. All workers, including subcontractors, crews, and vendors, must observe the posted speed limits. All workers are expected not to litter and to pick up personal trash on the work site and roadway and properly dispose of it on a daily basis.

Workers should ensure that loose materials and/or trash and debris are properly secured in all vehicles and truck beds so as not to litter Anchorage Plantation roads.

### B. Before Construction

1. Site Evaluation: Undercutting for the purpose of choosing the site for the home and yearly maintenance is allowed. However, the removal or installation of trees for any purpose is regulated by the Anchorage Covenants. See Guidelines II.C.16 or Covenants 5.2.

#### 2. Preliminary Stakeout and Site Inspection

Site preparation or other construction activities may begin only after the review process is complete. A site inspection of the house corner stakeout by the ARC is required before construction begins. The purpose of this inspection is to ensure compliance with the approved plans, as well as to evaluate impact on adjacent lots, common areas, tree preservation, wetlands, drainage, etc. The owner shall clearly stake the property corners and proposed house corners. Any existing trees to be removed shall be marked individually or in groups. Inspections may be conducted at any point of the construction process.

#### 3. Permits, Deposits, Fees and Fines

Contractors are responsible for obtaining required building permits and paying associated fees prior to commencing construction.

##### a) Nonrefundable Environmental Impact Due to Construction Fee

- \$1500.00 for a planned home of 3,000 square feet or less of air conditioned and/or heated space

- 50 cents (.50¢) for each square foot for a planned home larger than 3,000 square feet

b) Refundable Construction Deposits:

- \$5000.00 Builder
- \$5000.00 Owner

These deposits are refundable minus any fines assessed during construction for ARC Guideline violations, any fines assessed for non-compliance with the approved Final Application, and any expenses incurred by the HOA as a result of the construction.

c) If the ARC needs the opinion of an architect, landscape architect and/or engineer during its review of a Major Change to the approved plans during construction, the homeowner will be responsible for the fees incurred by the professional(s).

Violation of the ARC standards may result in the following fines. Fines will be levied on the property owner:

Violation and Fines

- Littered Site -- \$50.00/day
- Cleaning paintbrushes or dumping of any refuse materials -- \$100.00/occurrence
- Construction equipment or material on adjacent property -- \$100.00/day
- No temporary sanitary facility -- \$50.00/day
- No dumpster -- \$50.00/day
- Non-conforming signs -- \$100.00/day
- Damage to natural areas -- \$200.00/occurrence
- Burning without a permit -- \$200.00/occurrence
- Unauthorized finishes (e.g. paint, stain, roofing) -- \$3,000.00 plus hold on future permits
- No dumping of concrete in Anchorage Plantation Subdivision - \$1,000.00 per occurrence plus \$100.00 per day until removed and area completely restored
- Construction dirt and debris left on the street - \$100.00/occurrence plus \$100.00 per day until removed and area cleaned up
- Pools – failure to comply with CBCC - \$100.00/day



- Unapproved/unauthorized plan change (minor) -- \$200.00/occurrence\*
- Unapproved/unauthorized plan change (major) -- \$2,500.00/occurrence\*
- Unapproved/unauthorized landscape -- \$200.00/occurrence\*

\*Note: Unapproved/unauthorized plan changes or landscape that is not corrected within thirty (30) days of homeowner notification by the ARC will result in a fine of \$100.00/day until such corrections are complete and approved.

Failure to meet the Final Inspection and/or the completion of the Landscape Plan deadline of 45 days post occupancy will result in a daily fine of \$100.00 until such inspection and/or landscape plan have been completed.

#### 4. Temporary Facilities

Each building site is required to provide at least one toilet for the use of workers. It must be located at least 25 feet from any street and in an inconspicuous location. The door must face away from the street and any existing residences. Construction crews and vendors must use temporary facilities.

A commercial dumpster is required for each job site and set back a minimum of 25 feet from any street.

Temporary power poles must be installed plumb and shall not be used for posting signage. Temporary power poles should be installed within the confines of the lot under construction.

Silt fences and other erosion control devices should be installed before initial grading. Trees in the common right-of-way shall be roped or fenced off or otherwise marked to ensure that no construction activity, including the parking of construction vehicles or trucks, will damage the trees. Protective barrier shall be a minimum of the drip line. A concrete culvert shall be installed in the road swale to maintain flow at the construction entrance to the lot.

Construction office and storage trailers or buildings must be approved by the ARC.

### C. During Construction

#### 1. Site Maintenance

The general contractor must ensure that the job site is maintained in a neat and clean condition at all times. All materials and construction equipment must be stored within the lot boundaries. Adjacent lots or common space may not be used for parking. Vehicles shall not park on the right-of-ways during construction activities. Washing of vehicles, including concrete trucks, shall occur on site, not in the street. Excess concrete must not be dumped in Anchorage Plantation Subdivision.

#### 2. Sedimentation and Erosion Control

Streets shall be kept clear of mud, silt, and construction debris from construction traffic. Any debris, including dirt tracked onto the roads of Anchorage Plantation Subdivision should be removed daily. Sedimentation and erosion control devices shall be continuously maintained throughout the construction.

### D. After Construction

#### 1. Clean-up

Any dumpsters, outdoor toilets, storage units, tree protection barriers, and other structures or supplies (e.g. leftover lumber, brick or block) related to construction must be removed from the lot within 15 days of visible occupancy of the house.

Upon substantial completion of construction activities, all debris shall be removed immediately from the site and surrounding area.

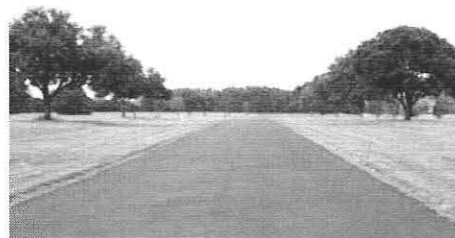
### V. Landscape

The ARC reviews and approves all landscape design and installation including the planting and removal of trees on unimproved lots (Covenants 3.1 and 5.2). Any unapproved landscape installation and/or modification not in compliance with the Guidelines will result in a fine. A lot owner who plans to do any of the following should be familiar with the Guidelines below:

- Add to or remove trees from an unimproved lot
- Add fill dirt or change the drainage of an unimproved lot
- Install landscape in conjunction with new home construction
- Add plantings to an already established landscape

#### A. Oak and Magnolia Trees on the Common Way Along Anchor Watch Drive

The ARC views the allee of existing live oak trees and magnolias as an important asset of the community. Aesthetically, these trees are enjoyed by everyone. The ARC will require that the protected area inside the drip line of these trees be fenced with a tree protection barricade before any construction, including delivery of dirt for construction of pad or driveway and will require that these fences be maintained during construction. Proposed landscape plans must respond to these tree locations. Tree and shrub plantings will not be allowed to visually interrupt the view of the allee. The ARC will also require that these trees be fertilized and treated by a certified arborist. Proof of this service treatment will be required as part of the Final Inspection of the property.



#### B. Removal and Planting of Trees, Grading and Adding Fill on an Unimproved Lot

A lot owner who intends to plant trees should submit the landscape plan to the ARC through the Property Management Company for approval. Large-scale planting of trees on a lot, which will substantially affect current vistas throughout the community, is not permitted. Trees and other landscape may not be established on the common area right of ways for Anchor Watch Drive. No owner shall remove any tree having a trunk diameter of six inches or more at a point of four and one-half feet above the ground without obtaining the prior

approval of the ARC. Dead and diseased trees may be removed promptly by the owner after the ARC has certified that the tree(s) is dead or diseased. See Covenants 5.2. A lot owner who intends to remove trees for the purpose of lot grooming, access to Bohicket Creek, dock construction, etc. should contact the ARC through the Property Management Company. Trees to be removed should be marked with ribbon for inspection by the lot owner and an ARC member. No Grand Oak may be cut down without permission of the County.

1. The lot owner should submit to the ARC a completed Landscape Plan Application and include a legible drawing of the lot with the location of the trees to be planted or removed designated. The species of tree must be included.

2. Site grading of a specific lot shall be kept to a minimum, and alterations to existing drainage systems shall be avoided. Any necessary grading shall maintain a natural appearance. The lot owner should submit a Landscape Plan Application describing the type of fill and/or grading to the ARC for review. The ARC will make a decision, on an individual basis, as to whether the proposed grading/fill requires further review by a professional, at the owner's expense, in order to ensure the grading does not affect the drainage onto neighboring lots.

#### C. Landscape in Conjunction with New Home Construction

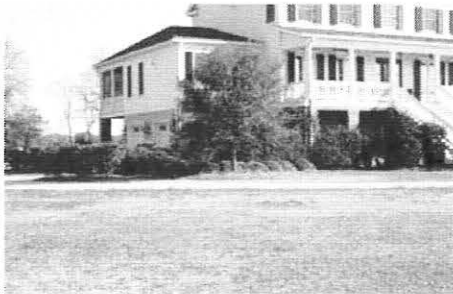
1. Landscape

Imaginative landscape design that enhances architecture sets the standard for a high quality community. Plantings should sufficiently screen utility areas, break up the foundation of the building, buffer driveways and parking areas adjacent to property lines, and provide cover for areas disturbed during construction. Plants for screening of utilities, well heads and house foundation should be of appropriate and sufficient size and spacing to ensure an adequate buffer within a year or two. If these required plantings die, they must be replaced. Foundation planting should be able to screen any foundation under the house or decks. Utility areas for gardening should be screened or incorporated into garden areas so as not to be unsightly.

The ARC encourages the planting of trees on lots which were once fields and lack mature trees. In addition to the required landscape installation described above, the ARC may require the planting of trees (live oaks, magnolias, cedars, hollies, crepe myrtles, sycamores, for example) in the front and side yard of lots otherwise lacking established trees. Pines and palms, which may be used otherwise in a landscape plan, may not be used to satisfy this requirement.

Hedge materials near property lines must be reviewed by the ARC. Invasive species including, but not limited to elaeagnus and bamboo are not allowed. Consideration should be made to ensure the hedges do not block desirable views and vistas or negatively impact adjacent lots.

Homeowners investing in plant materials should be aware that Anchorage Plantation contains a deer population.



## 2. Irrigation

Irrigation systems are required for maintaining lawn and landscaped areas and for promoting a healthy green appearance throughout the neighborhood. Irrigation systems should be zoned according to available water pressure. Irrigation heads should be designed to direct water away from houses, walls, fences, sidewalks, driveways, and public/private roads. Foundation plantings, driveway and apron buffers, and additional trees required by the ARC must be drip irrigated. Irrigation may be from a shallow well or must go through the RO system of a deep well to avoid watering plants and trees with salty water.

### 3. Use of Fences and Walls for Screening in Landscape.

Both fencing and evergreen shrubs are required to screen HVAC equipment. Fencing for the screening of utilities shall be louvers made on site from 1x4 or 1x6 boards. Lattice is not approved for utility area screens. Fencing or landscape materials may be used to screen trash receptacles, boats, trailers, basketball courts and other items required to be screened by the Declaration of Covenants Conditions and Restrictions or by Rules and Regulations as may be adopted, from time to time, by the Board of Directors of the Association. Walls are permitted. Split rail, vinyl, chain link or welded wire fencing is not allowed. Pet pens, dog runs, etc. must be screened from adjacent right-of-ways and lots. Privacy fences and fencing used for screening are allowed. The finished side of fences must always face out from the lot. The maximum height for any fence is 4 feet. Perimeter fencing is not permitted. Fencing should not block desirable views and vistas or negatively impact adjacent lots. Wood, wrought iron or anodized aluminum are allowable materials. Dark colors are preferred for fences made of aluminum. Please refer to HOA Covenants Section 5.16 regarding the screening of boats and trailers with landscape material.

### 4. Landscape Around Pool

All pools must be fenced in compliance with Charleston County Builders Code Section 3109.

### 5. Landscape Lighting

Lighting sources shall not illuminate directly adjacent lots. Illumination of surfaces such as walls, stairs, driveways, walks, and decks is permissible. Approved decorative wall sconces, porch lanterns, lampposts, and landscape lighting is permissible. All proposed site lighting shall be detailed on the Landscape Plans. Exterior lighting including security lighting will not be permitted when it would create a nuisance to the adjoining property owner. Colored lights are prohibited. Low voltage and 120 volt systems are permitted.

### 6. Landscape Plan Application Submission

The Landscape Plan Application must be submitted along with the Final Design and Plan Review Application. Please see the Landscape Plan Application form in the Appendix for instructions. Once approved by the ARC, the landscape plan may not be altered at the time of installation without submitting the change of planting to the ARC for review. The approved landscape plan must be completely installed within 45 days of visible occupancy of the

house. Seasonal restrictions on the planting of trees during the 45 day window should be anticipated and discussed with the ARC well in advance of the completion of the house.

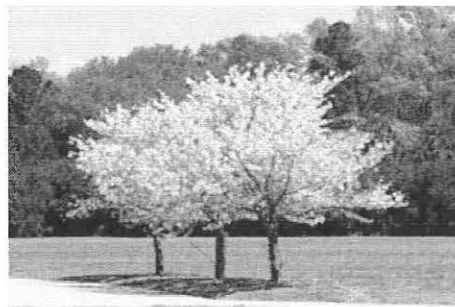
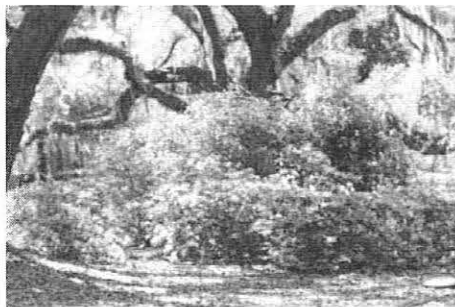
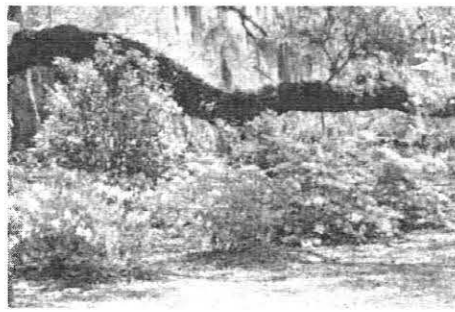
A basic landscape plan must include foundation planting, driveway and parking area buffers, and screening of utilities. Also included may be additional trees in front and side areas of the lot as determined by the ARC.

#### D. Landscape for a Property with Existing Home and Established Plantings

Please read and comply with the Guidelines for landscape design in the above V. C. Landscape in Conjunction with a New Home.

Dead or diseased trees may be removed promptly provided the ARC has certified that the tree(s) is diseased or dead. (See HOA Covenant 5.2 Trees).

1. Minor Changes - A homeowner does not need ARC approval to:
  - Replace existing dead or diseased plants and/or trees
  - Remove Live/healthy trees under 6 inches in diameter
  - Plant a vegetable garden, which must be located in the back yard
2. Major Changes – A homeowner must obtain prior ARC approval to:
  - Plant trees in the vicinity of the property lines and must ensure they do not block desirable views and vistas or negatively impact adjacent lots
  - Establish a hedge in the vicinity of the property lines and must ensure it does not block desirable views and vistas or negatively impact adjacent lots
  - Install hardscape, including but not limited to, fountains, statues, extensions of driveways, aprons, patios, and terraces
  - Install new fencing and/or walls



## **VI. Wood Stork Area**

The Army Corps of Engineers designated some Anchorage Plantation lots or portions of lots to be within a protected roosting and nesting area for wood storks in 1994 and issued restrictions on the use and improvement of those lots. This protected designation was revisited by the Army Corps of Engineers and upheld in 2013. It is the responsibility of the lot owners to be familiar with the restrictions that apply to their lot. The ARC will approve only improvements (lot clearing, home construction, docks) that comply with the Army Corps of Engineers' restrictions. Lot owners with questions about the restrictions as they apply to their lot should contact the Property Management Company, the ARC, or the HOA Board. Please refer to the map (Pg 44) which depicts a 500 foot arc from the nesting habitat as a visual buffer and construction setback for house and other ancillary facilities, and also a 1000 foot arc from the nesting habitat as a seasonal reduced activity buffer.

The lots affected by these restrictions are Lots 30-32 and 36-43. Please note that the original numbering of some of these lots on the 1994 permit map was changed by Southern Lifestyles, although the lot locations and boundaries were not changed.



<u>Original Lot Number</u>	<u>Current Lot Number</u>
46	43
45	42
44	41
43	40
42	39
41	38
40	37
39	36
30	30
31	31
32	32

A. Construction of Homes:

1. No house or ancillary building may be constructed on any portion of a lot within the 500 ft. arc. Portions of Lots 40-42 are affected.
2. A house or ancillary building may be constructed on the portion of a lot within the 1000 ft. arc and outside of the 500 ft. arc but only during the non-breeding season of October 15 - May 31 of any year. Portions of Lots 30-32 and 37-43 are affected.

B. Construction of Docks:

1. Only non-motorized or electric powered boats are allowed within the impoundment (lagoon, creek area adjacent to Lots 36-43).
2. Lot 42 may have a Type C dock with a 4 ft. wide, 120 ft. long dock way and a maximum 5' x 10' pier head.
3. Lots 40 and 41 may not have a dock of any kind.
4. Lots 36-39 may have a Type D dock (crabbing dock) with a 4 ft. wide, 24 ft. long dock way, and an 8' x 8" pier head. No lighting is allowed on the dock.

### C. Clearing of Lots

1. No trees may be removed within the 500 foot arc.
2. The approximate 50 ft. vegetative buffer that borders the impoundment on the boundaries of Lots 36-42 must not be disturbed. No mechanized equipment may be used for clearing, and this area may not be maintained as mowed grass.
3. On Lots 36-42, selective clearing of a footpath to the impoundment is permitted. The footpath must be meandering and non-linear.

# OLD LOT NUMBERING SYSTEM ON MAP

LOTS 38 THRU  
38 OMITTED

39

13-36-118

DOCK 1991 B

TYPE C W/ 5'x10' PER HEAD

G. DANA SINKLER  
P.O. BOX 140  
CHAS., S.C. 29402

MATCHLINE

NO  
INDIVIDUAL  
DOCK

NO  
INDIVIDUAL  
DOCK

EXISTING  
DOCK

Project Title

PROPOSED PIERS, FLOATING DOCKS & RAMP

Project Location

ON BOHICKET CREEK

AT ANCHORAGE PLANTATION, WADSWORTH IS.,  
CHARLESTON COUNTY, SOUTH CAROLINA

Author

Drawn by

Authorized Agent

Revision Date

8-12-94

Drawing Scale: 1"=400'

Date: 5-27-93

Sheet no.

Sheet 2 of 10

LOT 51  
OMITTED

LOTS 39-46 ARE NOW LOTS 36-43

paper came  
in this  
way, tried 2  
scan in color,  
no better

# Appendix

## Anchorage Plantation Preliminary Design Review Application

An Orientation Meeting must be held before submitting an Application for Preliminary Design Review. All plans for new construction, additions, alterations and renovations to existing houses and lots must be reviewed by the ARC. All items on this checklist must be completed and submitted in order for the application to be accepted for review. If the submission is not complete, the application will not be accepted and the applicant will be notified of the deficiencies. The completed application, fee and all submission materials must be submitted to the ARC through the Property Management Company.

Date submitted \_\_\_\_\_

Project type: New \_\_\_\_ Improvement \_\_\_\_ Change \_\_\_\_

Lot Number \_\_\_\_\_

Property Owner \_\_\_\_\_  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Home phone \_\_\_\_\_  
Cell \_\_\_\_\_  
Email \_\_\_\_\_

Architect/Designer \_\_\_\_\_  
Address \_\_\_\_\_  
City, ST, Zip \_\_\_\_\_  
Phone \_\_\_\_\_  
Cell \_\_\_\_\_  
Email \_\_\_\_\_

**Information and Material Checklist:** All items must be complete before submission.

\_\_\_\_\_ **Square Footage**  
Heated living space \_\_\_\_\_  
Covered porches \_\_\_\_\_  
Screened porches \_\_\_\_\_  
Decks \_\_\_\_\_  
Impervious coverage \_\_\_\_\_

\_\_\_\_\_ **Design Review Fee:** A nonrefundable architectural review fee (amount to be determined by the architect). Fee must be submitted with the Preliminary Design Review Application. Make check payable to Anchorage Plantation Homeowners Association, Inc. Additional fees may be applied if reviewed by outside architects, engineers, or others as deemed necessary by the ARC.

\_\_\_\_\_ **Drawings:** Seven sets of Preliminary documents (Two sets 24" X 36" and Five sets of 11" X 14"). The name, address and phone number of owner and the architect/designer of the project must appear clearly on each of the drawings submitted. Drawings as follows:

**Building Elevations** 1/8" = 1"

- Front, rear, right and left side elevations with compass orientation indicated
- Terraces, walls, decks, roof and foundation vents, screens for trash and HVAC compressors
- Any hidden elevation not shown in other drawings
- Finish floor elevation on each drawing with proposed finish grade line against elevation
- Elevations shall indicate materials and finishes, fascia, trim, handrail details, window and door types, window and door trim, terraces, decks, walls, roof and foundation vents, screens for trash, air conditioning equipment and utilities, shutters and hinges
- Any materials and finishes for all surfaces that you have available at this time.
- Floor plan 1/4" = 1"

**Exterior Wall Section 1" = 1'**

- Exterior wall section which shows the basic method of construction including floor to floor height, exterior details such as the construction of the wall at the ground level, window sills, window heads, soffits, and fascias. If a gutter is to be used it should be shown.

**Site Plan 1" = 30', 40'**

- Drainage and grading plan with new contours indicated
- Property lines, setback lines, wetland limits and easements with dimensions shown and compass orientation
- Existing topography elevations of lot corners and contour lines in increments of one or two feet, unique or extreme site features, water edges, and directions of prominent views
- A landscape survey showing location of significant existing plantings
- All streets adjacent to lot with street names
- Any existing utility structures on lot in adjacent right of ways
- Any areas to be graded with drainage indicated by arrows that show flow directions
- Outline of exterior house walls, decks, driveways and walks on adjacent lots that are within ten feet of any property line
- Outline of house foundation walls, decks, terraces, steps, stoops and roof overhang
- Finish floor elevation of first floor and garage slab
- Drives and walks with dimensions and materials indicated
- Proposed garden walls, retaining walls, fences, screens, etc. with dimensions and materials indicated if available at this time
- Pools and/or spas
- Location and description of any other accessory use (playground equipment, dog runs, gazebos, etc.)
- Percent of lot covered by impervious surfaces if requested by the ARC

**General Information**

Setback requirements:

- Front: 150 feet
- Side: 20 feet
- Rear: 20 feet
- Open porches, steps, or overhangs shall not be within the setback.
- Open decks are not considered in the lot coverage, but they must meet all setback requirements.
- Waterfront: 75 feet from critical line

Consult the Code of Ordinances of Charleston County for any and all other requirements relating to zoning issues.

**Material List**

We realize that you may not have made a final decision on all of your materials at this date. List as much information as possible at this time to give the ARC a better overall vision of your project. Specific information and samples will be required with your final application.

Exterior Materials  
Foundation \_\_\_\_\_  
Finish \_\_\_\_\_  
Color \_\_\_\_\_

Decks/Railing  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Exterior Walls \_\_\_\_\_  
Material \_\_\_\_\_  
Color \_\_\_\_\_

Columns \_\_\_\_\_  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Material List continued.

Windows  
Type \_\_\_\_\_  
Manufacturer \_\_\_\_\_  
Color \_\_\_\_\_  
Picture \_\_\_\_\_

Patios  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Exterior Doors  
Materials \_\_\_\_\_  
Mfg./ No. \_\_\_\_\_  
Color \_\_\_\_\_  
Picture \_\_\_\_\_

Terraces  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Garage Doors  
Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_  
Hardware \_\_\_\_\_

Walls & Screens  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Roofing  
Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_  
Sample/Picture \_\_\_\_\_

Driveway  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Exterior Trim  
Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_

Front Entry stairs  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

Shutters  
Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Submit completed application, fee and materials to the ARC through the Property Management Company.**

---

***For Use by the Architectural Review Committee***

Date Material Received \_\_\_\_\_ Date of Complete Application \_\_\_\_\_  
Check No. \_\_\_\_\_ Received by \_\_\_\_\_  
Preliminary Design Approval [ ☐ ] Date \_\_\_\_\_

Signed: \_\_\_\_\_ Date \_\_\_\_\_  
Architectural Review Committee Representative

## Anchorage Plantation Final Design and Plan Review Application

After Preliminary Designs are approved, construction drawings should be completed incorporating any ARC requirements and/or recommendations. All items on this checklist must be completed and submitted in order for the application to be accepted for review. If the submission is not complete, the application will not be accepted and the applicant will be notified of the deficiencies. The completed application, fee and all submission materials must be submitted to the ARC through the Property Management Company.

Date submitted \_\_\_\_\_

Lot \_\_\_\_\_ Project Type: New construction \_\_\_\_\_ Improvement \_\_\_\_\_ Change \_\_\_\_\_

Property Owner \_\_\_\_\_  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Phone: \_\_\_\_\_  
Cell: \_\_\_\_\_  
Email: \_\_\_\_\_

Builder \_\_\_\_\_  
Address \_\_\_\_\_  
City, St, Zip \_\_\_\_\_  
Phone \_\_\_\_\_  
Cell: \_\_\_\_\_  
Email: \_\_\_\_\_  
SC License # \_\_\_\_\_

### Information and Material Checklist

\_\_\_\_\_ **Impact Fee:** A nonrefundable \$1,500.00 fee applies to a planned home of 3,000 square feet or less of air conditioned and/or heated space. Homes larger than 3,000 square feet shall be assessed a fee equal to 50 cents for each square foot. Fee must be paid in full by the property owner before the application may be considered. Make checks payable to Anchorage Plantation Homeowners Association, Inc.

\_\_\_\_\_ **Construction Deposit:** A refundable construction deposit of \$5,000.00 shall be paid by the Builder and a refundable construction deposit of \$5,000.00 shall be paid by the Owner. (These deposits are refundable minus any fines assessed during construction for ARC Guidelines violations, fines assessed for construction not in compliance with the approved Final Application, and any expenses incurred by the HOA to repair damage to roads, common areas, and other lots as a result of construction).

\_\_\_\_\_ **Insurance, Bond and License:** One copy of the contractor's SC Builders License, proof of liability insurance of \$1,000,000.00 aggregate and security bond as required by the SC Residential Commission.

\_\_\_\_\_ **Drawings:** Seven sets of construction documents are required for final review (two sets 24" X 36" and five sets 11" X 17". The name, address, phone number, owner, and architect/designer of the project must appear clearly on each of the drawings submitted. Drawing should include the following:

<b>Site Plan</b>	1" = 30', 40'
<b>Exterior Wall Section</b>	1" = 1'
<b>Building Elevations</b>	1/8" = 1'
<b>Floor Plans</b>	1/4" = 1'

- All interior surfaces drawn to scale with all rooms dimensioned and named
- All window and door openings
- Roof overhangs (dashed line)
- Garage, decks, terraces, steps, stoops and porches dimensioned with materials indicated
- Finish floors and garage slab elevations
- All dimensions necessary for construction



**Foundation Plan**      1/4" = 1'

- Walls, footings, piers, beams, and floor joists (include foundations for deck, retaining walls, exterior stairs, etc.)
- Access openings and foundation vents

Note: Landscape Plans are required when the Final Design and Plan Application is submitted.

\_\_\_\_\_ **Exterior Material**

**Foundation**

Finish \_\_\_\_\_  
Color \_\_\_\_\_  
Sample \_\_\_\_\_

**Exterior Walls**

Material \_\_\_\_\_  
Color \_\_\_\_\_  
Sample \_\_\_\_\_

**Windows**

Type \_\_\_\_\_  
Manufacturer \_\_\_\_\_  
Color \_\_\_\_\_  
Picture/sample \_\_\_\_\_

**Exterior Doors**

Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_  
Pictures/Sample \_\_\_\_\_

**Garage Doors**

Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_  
Hardware \_\_\_\_\_

**Roofing**

Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_  
Sample \_\_\_\_\_

**Exterior Trim**

Materials \_\_\_\_\_  
Mfg./No. \_\_\_\_\_  
Color \_\_\_\_\_  
Sample/Picture \_\_\_\_\_

**Shutters and Hinges**

Materials \_\_\_\_\_  
Color \_\_\_\_\_  
Operable preferred.

**Decks/Railing**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Columns**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Patio**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Terraces**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Walls & Screens**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Driveway**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

**Front Entry Stairs**

Materials \_\_\_\_\_  
Color \_\_\_\_\_

\_\_\_\_\_ **Construction Agreement for Final Design and Plan Review Application**

I, \_\_\_\_\_ as property owner and  
I, \_\_\_\_\_ as contractor of the above described  
construction project, acknowledge and agree that the improvements will be constructed  
in accordance with plans and specifications which have been approved by the  
Architectural Review Committee.

We further acknowledge and agree that:

1. We have read and understand the Covenants and restrictions applicable to the property, all ARC Guidelines and will follow and obey said Covenants, Restrictions, and Guidelines.
2. I understand that the project can not begin until there is signed approval from the ARC.
3. I will not make unauthorized changes without the approval of the ARC
4. We are responsible for completing the project in accordance with the final approved Construction Documents.
5. We will maintain a clean construction site at all times and install a job sign, commercial dumpster, and job toilet in conformance with ARC Guidelines.
6. We are responsible for the conduct of all workers and subcontractors performing services on this project at all times while they are engaged by us.
7. I understand that additional fees may be applied to make corrections for unauthorized work, to remove site clutter, or repair streets, or road shoulders damaged by my personnel.

Property Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Builder's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Submit completed application, fee and materials to the ARC through the Property Management Company**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

***For Use by the Architectural Review Committee***

Date Material Received \_\_\_\_\_ Date of Complete Application \_\_\_\_\_

Check No. \_\_\_\_\_ Received by \_\_\_\_\_

Final Design Approval [ ☐ ] Date \_\_\_\_\_

Signed: \_\_\_\_\_ Date \_\_\_\_\_

Architectural Review Committee Representative

## Anchorage Plantation Design or Construction Change Application

Attach a sketch(es) to a copy of the original drawing. This will be used to determine if the change is major or minor. Depending on the degree of change, you may be asked to present a revised full-size (24" X 36") blueprint(s) and materials as necessary. The completed application and all submission materials must be submitted to the ARC through the Property Management Company.

Additional fees may be applied if review by outside architects, engineers or others is deemed necessary by the ARC.

Date submitted \_\_\_\_\_

Lot \_\_\_\_\_

Property Owner \_\_\_\_\_  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Home phone \_\_\_\_\_  
Cell \_\_\_\_\_  
Email \_\_\_\_\_

Architect/Designer \_\_\_\_\_  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Phone \_\_\_\_\_  
Cell \_\_\_\_\_  
Email \_\_\_\_\_

Proposed Change:

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Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

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### ***For Use by the Architectural Review Committee***

Date Material Received \_\_\_\_\_ Date of Complete Application \_\_\_\_\_

Check No. \_\_\_\_\_ Received by \_\_\_\_\_

Change Approval [ ☐ ] Date \_\_\_\_\_

Signed: \_\_\_\_\_ Date \_\_\_\_\_

Architectural Review Committee Representative

## Anchorage Plantation Landscape Plan Application

Landscape plan should be submitted to the ARC through the Property Management Company when the Final Design & Plan Application is submitted. Complete this form and submit it with drawings to the ARC through the Property Management Company.

Date submitted \_\_\_\_\_

Lot \_\_\_\_\_  
Property Owner \_\_\_\_\_  
Address \_\_\_\_\_  
City, St, Zip \_\_\_\_\_  
Home Phone \_\_\_\_\_  
Cell \_\_\_\_\_  
Email: \_\_\_\_\_

### \_\_\_\_\_ Drawings

- Two sets of drawings 24" X 36"
- Landscape Plan at a scale of 1" = 20', 30', 40'
- Outline of all structures and site elements shown on the Site Plan
- Driveway
- Outline of proposed tree, shrub, and ground cover locations showing circular symbols
- Plant list showing quantity, common name, root (B&B container), tree caliper and height, shrub container size, ground cover container size and spacing, turf (sod, seed, plug)
- Natural or mulched areas and any hardscaped elements (arbors, trellis, fences, walls, stepping stones, etc.)
- Location of any proposed landscape lighting fixture type, bulb type and bulb wattage
- Pools and/or spas
- Location and description of any other accessory (gazebos, playground equipment, etc.)

**Submit plan to the ARC through the Property Management Company**

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### ***For Use by the Architectural Review Committee***

Date Received \_\_\_\_\_ Landscape Plan Approval [ ☐ ]

Signed \_\_\_\_\_ Date \_\_\_\_\_  
Architectural Review Committee Representative

## Anchorage Plantation Final Inspection Application

After construction is complete submit this form to the ARC. If the submission is not complete, the application will not be accepted and the applicant will be notified of the deficiencies. The completed application must be submitted to the ARC through the Property Management Company.

Date submitted \_\_\_\_\_

Lot \_\_\_\_\_

Project Type: New construction \_\_\_\_\_ Improvement \_\_\_\_\_

Property Owner \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

Builder \_\_\_\_\_

Address \_\_\_\_\_

City, St, Zip \_\_\_\_\_

Phone \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

I certify that construction has been completed and that all work done conforms to state, county, local codes and meets Anchorage Plantation standards as approved.

Contractor's Signature \_\_\_\_\_ Date \_\_\_\_\_

Requested date for inspection \_\_\_\_\_

---

### ***For Use by the Architectural Review Committee***

Date Received \_\_\_\_\_

Final Inspection Approved [ ☐ ]

Signed \_\_\_\_\_ Date \_\_\_\_\_

Architectural Review Committee Representative

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