

The Opportunity



Josephine County Board of Commissioners has designated for sale by sealed bid auction these nine tracts which total 1,800 acres, located 19 miles south of Grants Pass in the Williams area north of Grayback Mountain. Proceeds will be reinvested in timberland more strategic to Josephine County's other 28,000 acre ownership, managed by Forestry Department.

Eight of the nine properties were acquired in 1920 through 1940 by tax foreclosure sales, and must be sold at auction using sheriff sale process, with minimum selling or published reserve price established for each tract.

These nine tracts are being offered for the first time to the general public. They contain an estimated 25.9 million board feet of primarily 50 to 70 year old Douglas-fir. They have strategic location to competitive log markets in Southern Oregon's I-5 corridor from Roseburg to White City, west to coastal mills in Brookings, and north to North Bend and Coquille.



40% of portfolio can be harvested with ground based logging

Josephine County Forestry Department has managed these lands to improve productivity using commercial thinning and regeneration harvests. A total of 213 acres has been replanted during the last seven years on Auction Properties 105, 110, and 111. All properties have been cruised. Cruise reports are included in the Supplemental Information Package which also has Josephine County's sale process, terms and conditions, bid form, and copies of sale documents, ownership and encumbrance reports, and other pertinent information.

There is a BLM Reciprocal Road Use Agreement which provides access to properties along with easements for Auction Properties 108 and 109.

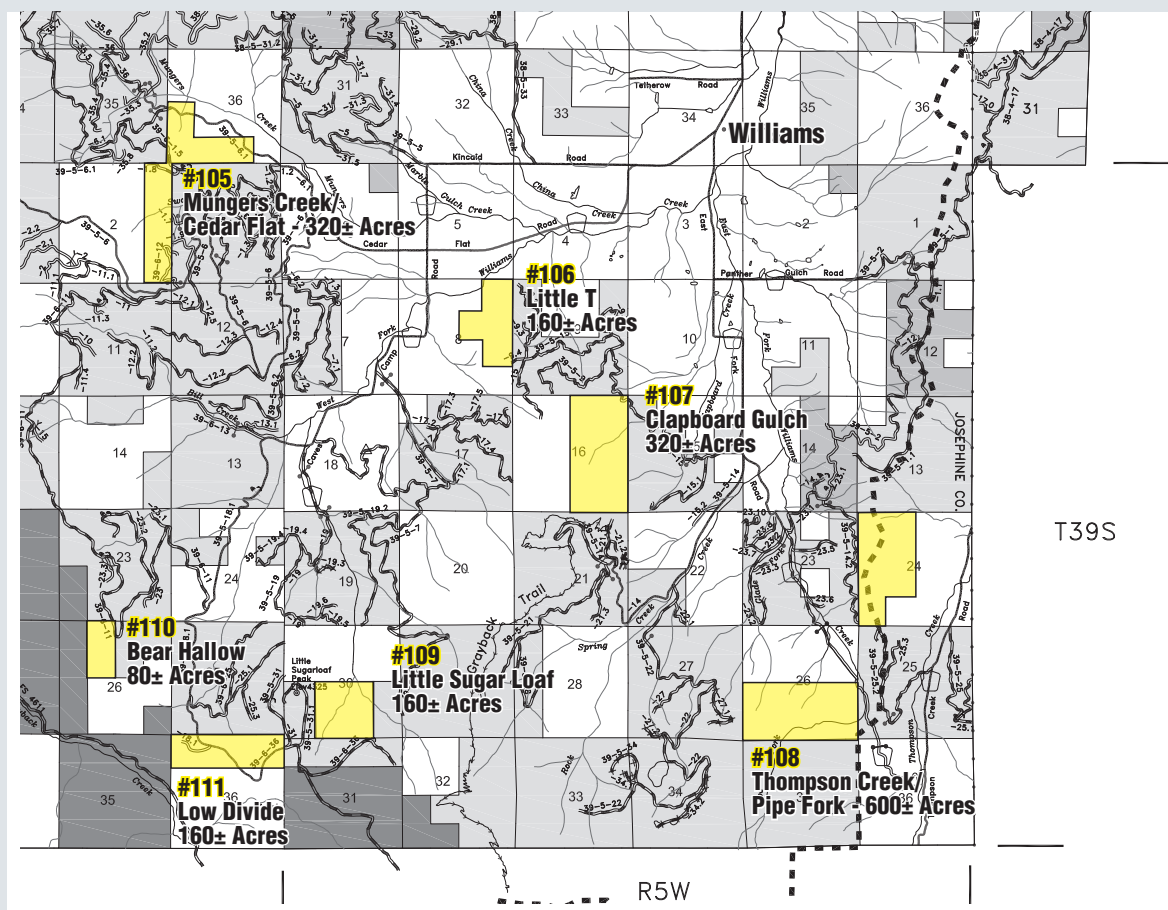
Auction Properties 106, 107, 109, 110, and 111 are being offered individually. Both Auction Properties 105 and 108 are two-property packages due to location, and total merch volume, to accommodate more economical harvests.

40% of total Portfolio volume can be harvested using ground-based systems.

Published reserve or minimum, AS IS, all cash prices have been established which range from \$99,500 to \$3,895,000. AgWest Farm Credit is preferred lender.

Acquisition of the 1,800 acre Josephine County Timberland Portfolio in either its entirety, or by individual tract or combination of tracts, is rare investment opportunity to obtain *GreenGold* timberland having primarily well-stocked 50 to 70 year old Douglas-fir which provides near-term cash flow in Southern Oregon's competitive log market.

Auction Property Location



Josephine County has a BLM Reciprocal Agreement M-1538. Medford District BLM has process for assignment to private parties - detail is provided in Supplemental Information Package with Bid Documents. Since this permit was issued to Josephine County, a public entity, a partial assignment will be subject to road use fee clause for each timber tract purchased by a private party.

Auction Property 108, Thompson Creek Tract, has an easement from Thompson Creek Road. Auction Property 109, Little Sugarloaf Tract, has an easement from BGT Pactual to BLM Road.



Timberland Portfolio Summary



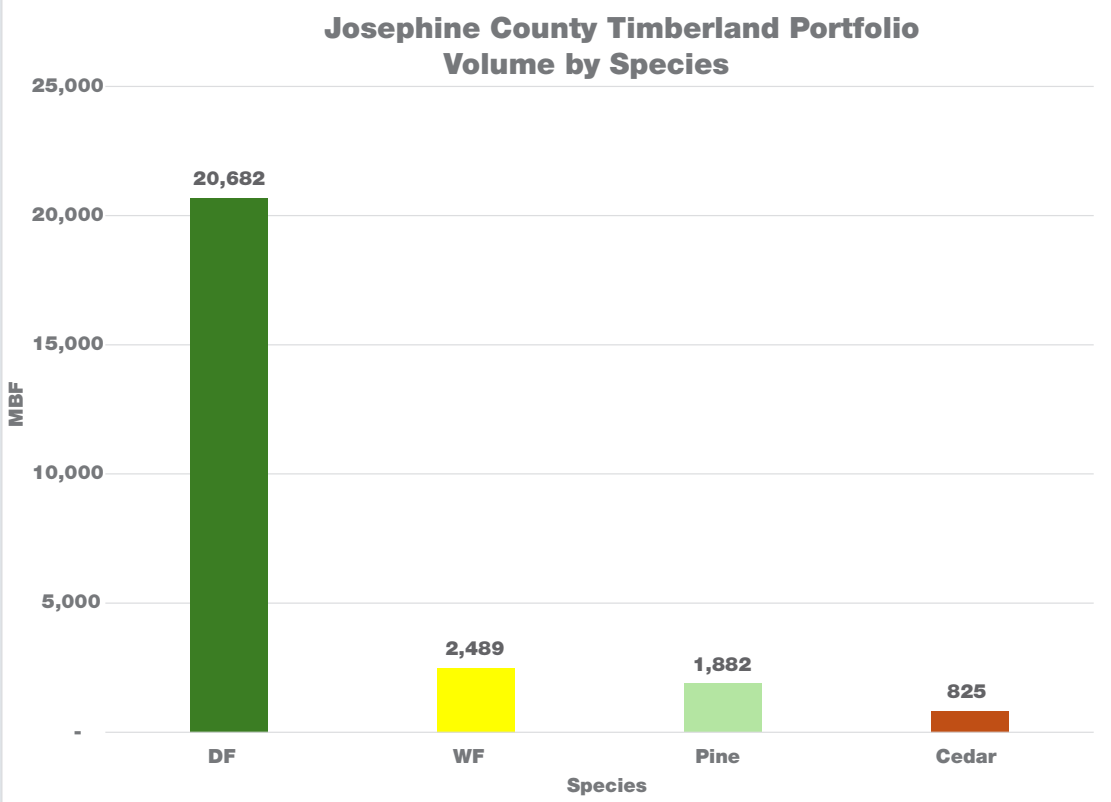
Josephine County Timberland Portfolio Summary – 1,800± Acres



#	Tract	Size	Location	Site Class by Acres					Reprod	Timber Inventory by Species (Net MBF)*				Total Volume / BFAC	% Cable	Published Reserve or Minimum Selling Price / Per Acre
				I	II	III	IV	V		DF	WF	Pine	Cedar			
105	Cedar Flat /Munger Creek	320	T38S, R6W Section 36, 8		192	42	32	19	30 acres 3-4 years old	2,925	176	69	226	3,399 / 11,700	14	\$1,545,000 / \$4,828
106	Little T	160	T39S, R5W Section 8				93	66		1,617	4	260	3	1,885 / 11,668	40	\$838,500 / \$5,240
107	Clapboard Gulch	320	T39S, R5W Section 16			320				5,157	306	602	318	6,383 / 19,958	71	\$2,360,000 / \$7,375
108	Thompson Creek / Pipe Fork	600	T39S, R5W Section 24, 26		78	230	133	106		7,484	763	949	127	9,323 / 15,500	66	\$3,895,000 / \$6,975
109	Little Sugarloaf Peak	160	T39S, R5W Section 30	50		99	10			2,740	986	0	140	3,865 / 24,150	90	\$1,235,000 / \$7,718
110	Bear Hollow	80	T39S, R6W Section 26				80		71 acres 5 years old	99		3	3	105 / NA	none	\$99,500 / \$1,243
111	Low Divide	160	T39S, R6W Section 36			160			112 acres 3 years old	670	253		9	932 / 19,400	none	\$412,500 / \$2,578
TOTAL 9		1,800± acres		50	270	851	348	191		20,692	2,488	1,883	826	25,892		

*Source: Josephine County Department of Forestry

Josephine County has established all cash published reserve prices for each auction property. Information regarding Site Class (King’s Site Class 50), reproduction acres, timber inventory by species, and percentage appropriate for cable logging, has been provided by Josephine County Forestry Department. Total volumes are as of January, 2024.



80% of total volume is Douglas-fir, or 20.7± million board feet, with 10% white fir and balance sugar pine or cedar Board feet volumes per acre range from 11,600 to 23,000

SUPPLEMENTAL INFORMATION PACKAGE WITH BID DOCUMENTS

Information available in both print and digital format.

Location map

Topography map with timber stands outlined

Aerial imagery with timber stands and logging roads outlined

Stand, species summary report

GIS shapefiles

Adjoining ownership map

Access maps with BLM road map

BLM Reciprocal Agreement with Josephine County M-1538 and Amendment #8 and BLM Road Assignment Process memo provided by BLM Medford Office

Zoning designation by Josephine County

Ownership and Encumbrances Report by Ticor Title

Josephine County documents

- Sealed Bid Form / Wire Instructions
- Bidding Procedure
- Terms of Sale
- Notice of Sheriff Sale
- Sheriff's Certificate
- Sheriff's form of Quit Claim Deed

SUBMISSION OF BIDS

Bids are due at Josephine County Board of County Commissioner Office on November 13 by 4:00 pm. Bids will be opened at 8:30 am in Board of Commissioners Conference Room. Additional detail is provided in Supplemental Information Package with Bid Documents

PROPERTY INSPECTION

ATVs are recommended be used for certain properties. Inspections at any time. Auction Property 105, Cedar Flat Tract, and Auction Property 109, Little Sugarloaf, have locked gates

FINANCING

None – all cash. AgWest Farm Credit is preferred lender and financing may be available. Contact Megan Cox, Relationship Manager, at 509-939-4471 or megan.cox@agwestfc.com for more information

Preferred Lender



MINERALS

All minerals owned by Seller will be conveyed

LEASES

None

REFORESTATION OBLIGATIONS

None

TAXES

Seller has been exempt from paying property taxes

OWNERSHIP AND ENCUMBRANCES REPORT

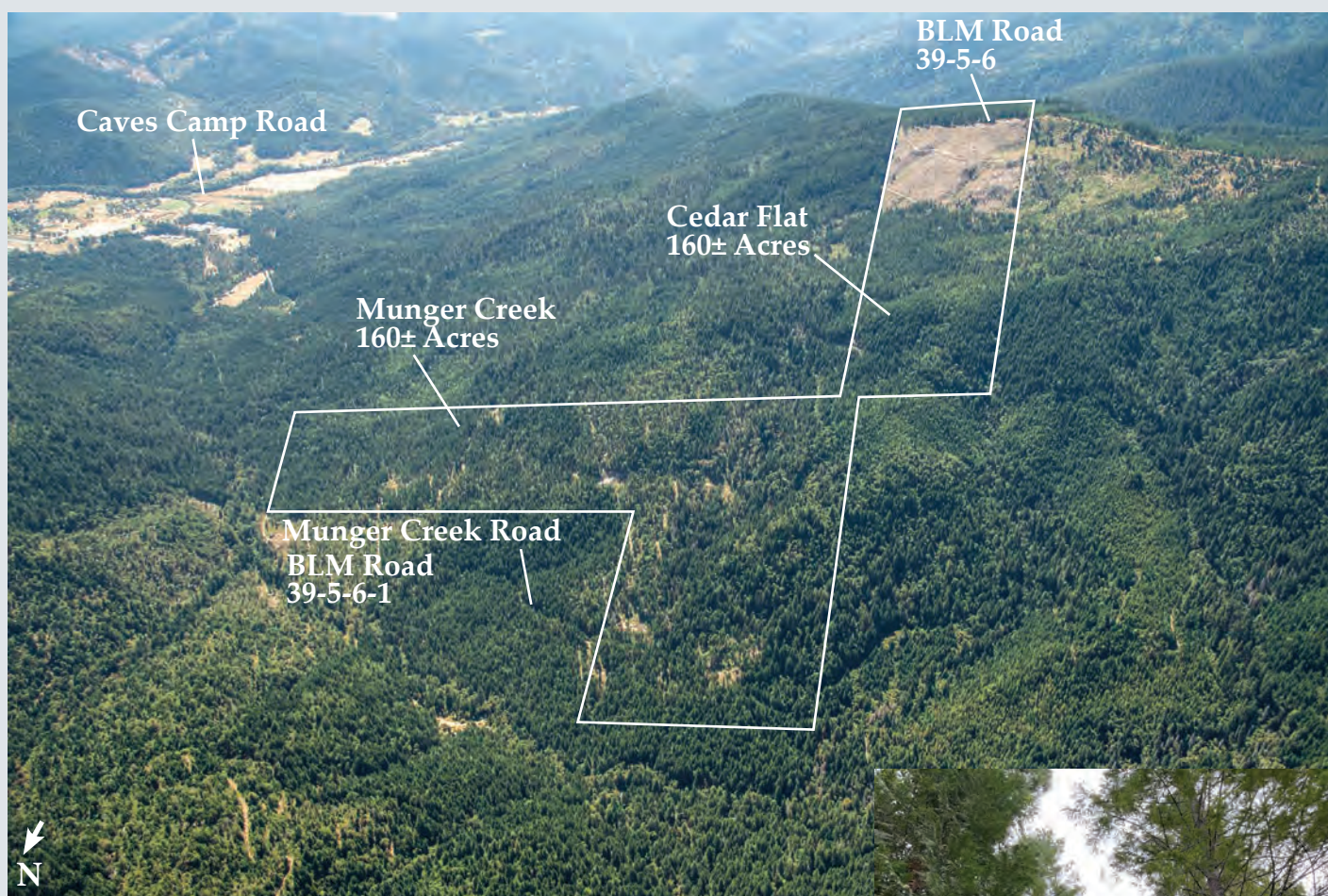
Reports are being provided for information purposes only, and should not be misconstrued as a Preliminary Title Report. Title insurance may be available for each auction property at expense of the buyer. Please contact Ticor Title in Grants Pass for more information

Trudy Lycett

t: 541.476.1171 • Trudy.Lycett@ticortitle.com

744 NE 7th Street, Grants Pass, Oregon 97526

or E-MAIL info@rmnw-auctions.com



PUBLISHED RESERVE: \$1,545,000 / \$4,828 per acre

LAST ASKING: First Time Offered

SIZE: 320± Acres

ELEVATION: 2,200± to 4,300± Feet

ZONING: FC (Forest Commercial)

PROPERTY INSPECTION: Munger Creek Tract - At Any Time. Use ATV or walk in.

Cedar Flat Tract - Locked Gate. Contact Auction Information Office for Combination - info@rmnw-auctions.com or 800-845-3524

FINANCING: None – All Cash

DESCRIPTION: Contiguous Munger Creek and Cedar Flat Tracts, each containing 160± acres, are located three miles west of Willams, and are being offered as a two-tract package with an estimated 3,399 MBF, or 11,700 BF/AC. 2,925± MBF is of Douglas-fir with balance of cedar, white fir, and pine. The two tracts were cruised in 2018 and 2021. Cedar Flat Tract was thinned in 2019 with a regeneration harvest and removal of 1,485± MBF. The 30 acre clearcut was replanted in 2021/2022. All these activities have improved productivity.

Majority of the land is Site Class II, with mostly moderate north- and west-facing slopes. Only an estimated 15% will require cable logging.

There is physical access to the southeast portion of Munger Creek Tract from Munger Creek Road, BLM Road 39-5-6.1. Existing logging road system will require improvement. Cedar Flat Tract has access from BLM Road 39-5-6 via a spur to the eastern section, used recently when property was logged. Swamp Creek, tributary to Munger Creek, bisects the northern portion of the Tract.

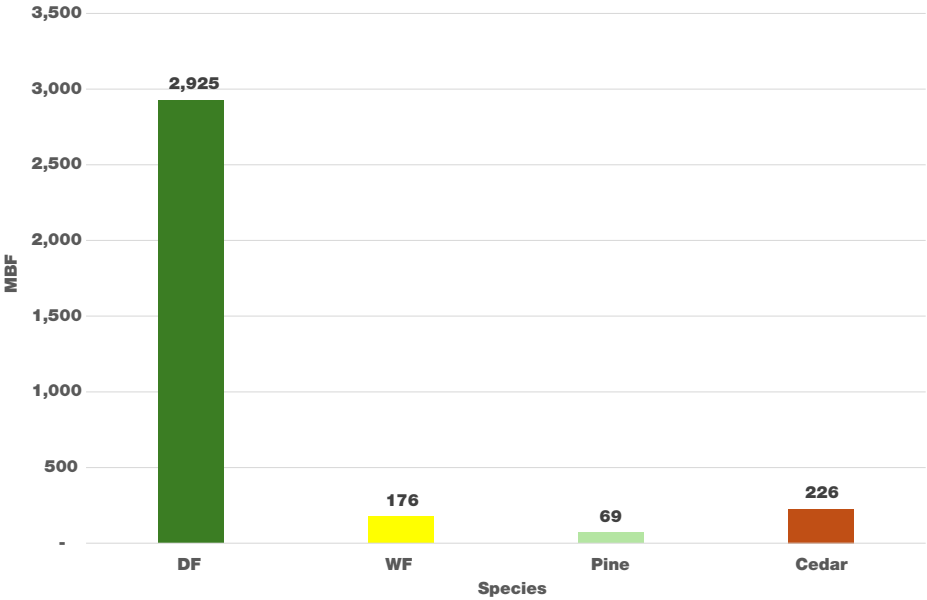
Murphy Timber is adjoining owner west of Cedar Flat Tract, with other private owners north and east of Munger Creek Tract. BLM is adjoining owner east and south of Munger Creek Tract.

LOCATION: Munger Creek Tract: Township 38 South, Range 6 West, Section 36, Tax Lot 500, Parcel No R326905 Cedar Flat Tract: Township 39 South, Range 6 West, Section 2, Tax Lot 200, Parcel No R328732, Josephine County, Oregon

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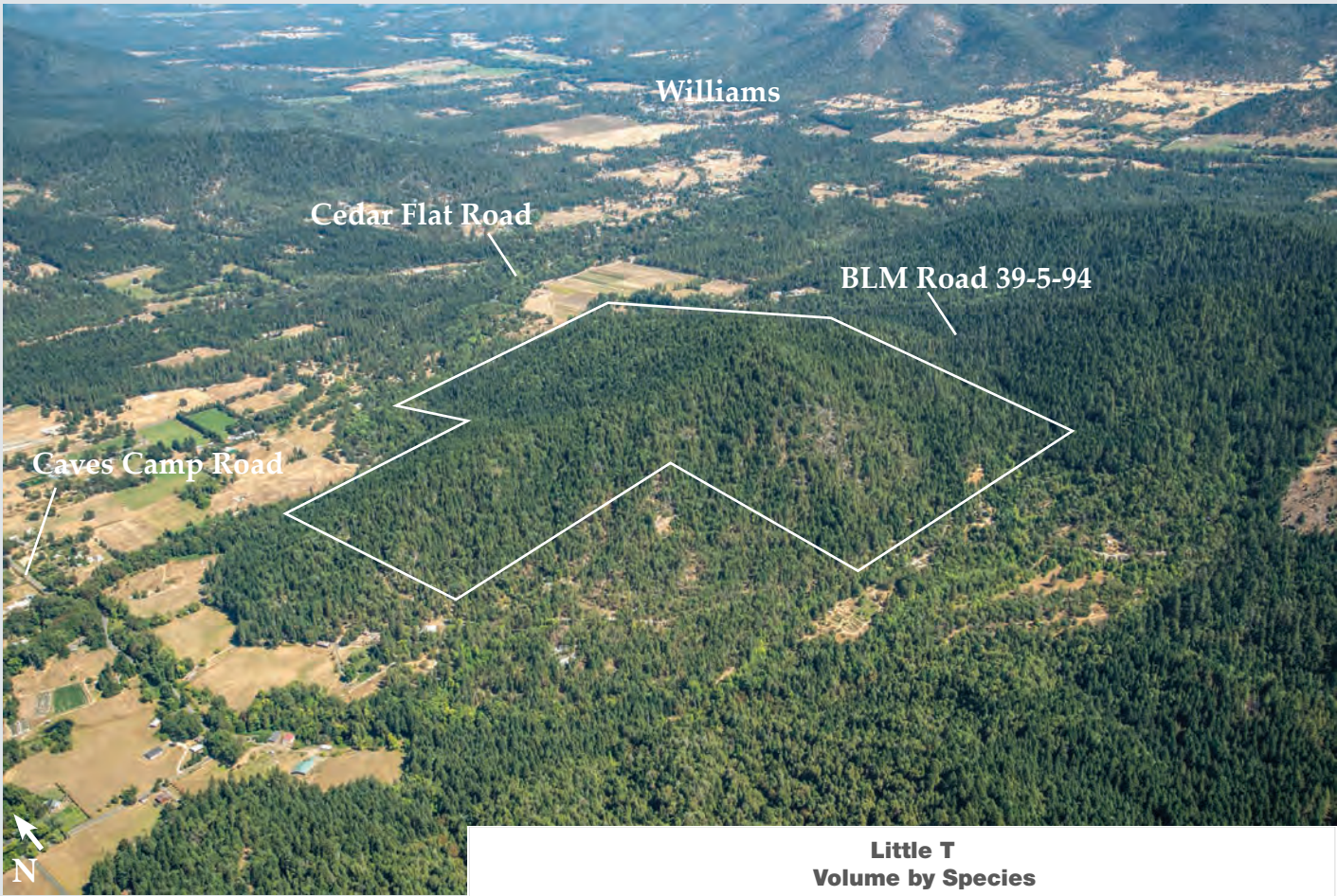


Munger Creek and Cedar Flat
Volume by Species



#105 – Tract Volume by Species

Tract	Size	Volume by Species				Total
		DF	WF	Pine	Cedar	
Munger Creek	160	1,569	3	197	25	1,794
Cedar Flats	160	1,356	176	29	44	1,605
Total	320	2,925	176	226	64	3,399



PUBLISHED RESERVE:

\$838,500 / \$5,240 per acre

LAST ASKING: First Time Offered

SIZE: 160± Acres

ELEVATION: 1,500± to 2,400± Feet

ZONING: FC (Forest Commercial)

PROPERTY INSPECTION: Walk In
Only from BLM Road

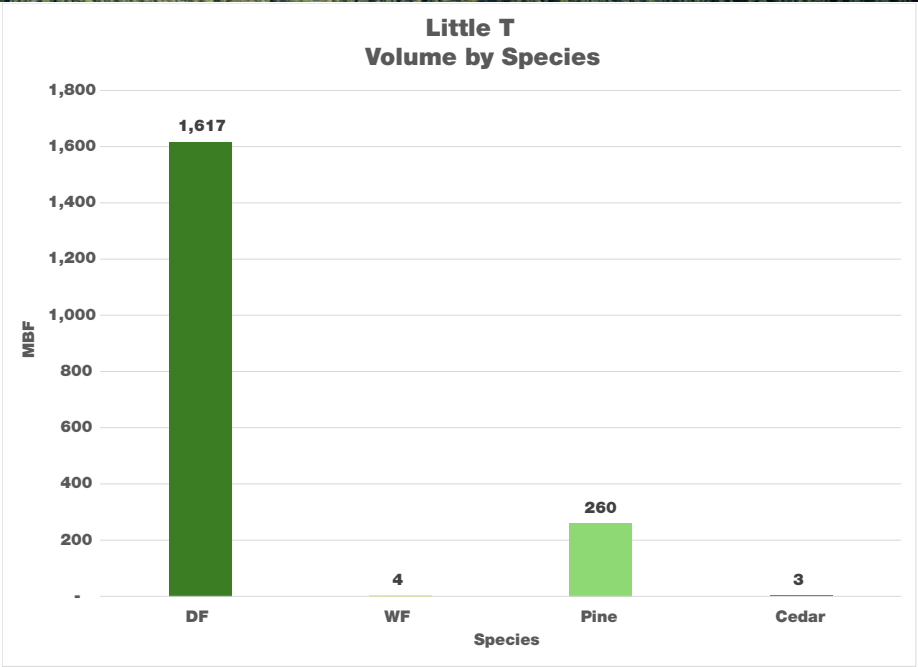
FINANCING: None – All Cash

DESCRIPTION: 160± acre Little T Tract is located 1.5 miles southwest of Williams and just east of Cave Camp Road, between Goodwin and Williams Creeks which bisect the northeast corner. There is an estimated 1,885 MBF, or 11,668 BF/AC, with 86% being primarily Douglas-fir and the balance mostly a combination of ponderosa and sugar pine. It was cruised in 2021.

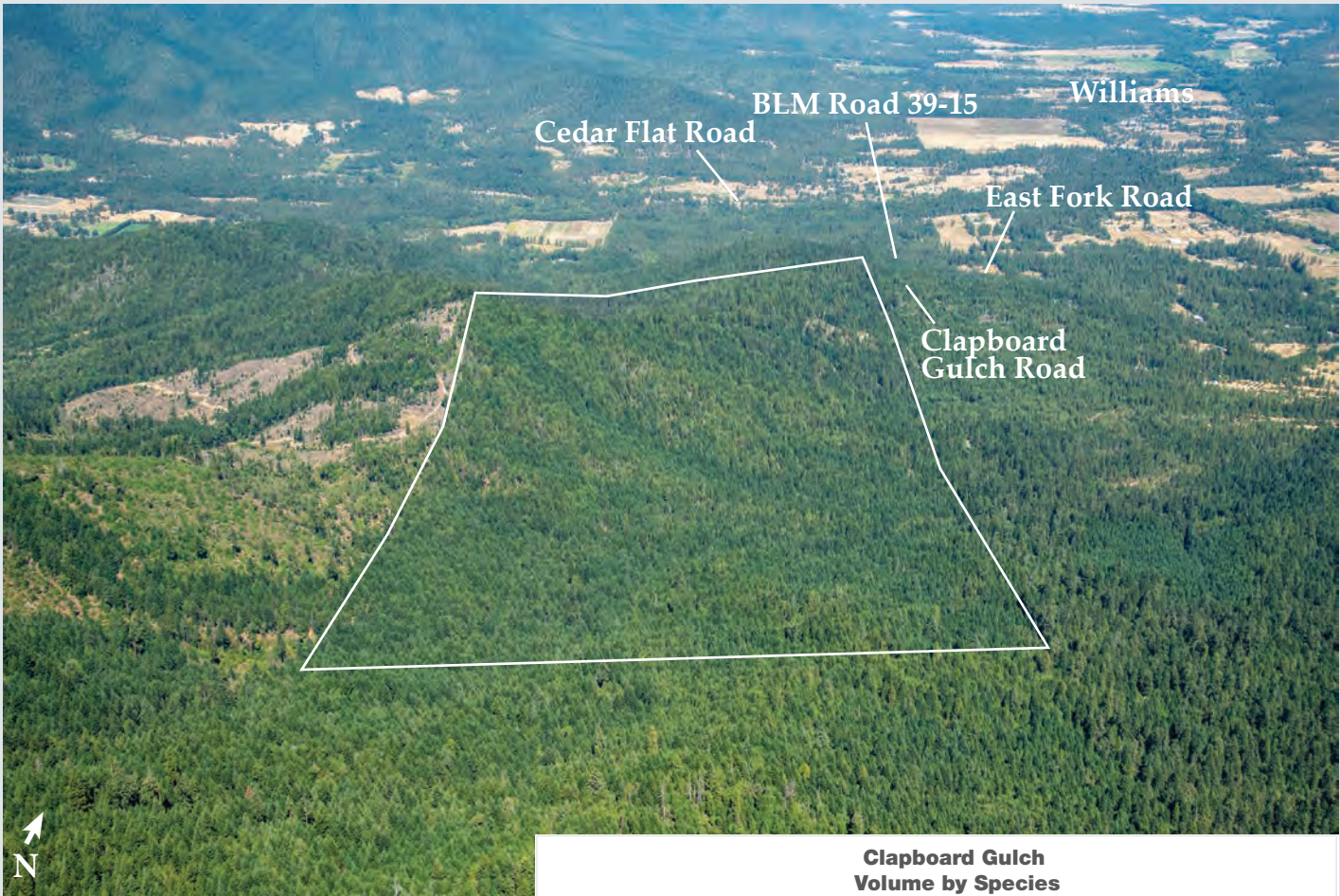
There is combination of Site Classes IV and V, with moderate to steep north-, west-, and southwest- facing slopes. An estimated 40% of the volume will require cable logging.

There is access via BLM Road 39-5-15 to the southeast section. Existing road system will require improvement prior to logging. BLM is adjoining owner to the east, with multiple private owners to north, west, and south.

LOCATION: Township 39 South, Range 5 West, Section 8, Tax Lot 100, Parcel No R328547, Josephine County, Oregon



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PUBLISHED RESERVE:

\$2,360,000 / \$7,375 per acre

LAST ASKING: First Time Offered

SIZE: 320± Acres

ELEVATION: 2,000± to 3,100± Feet

ZONING: FC (Forest Commercial)

PROPERTY INSPECTION: At Any Time
– ATV Required

FINANCING: None – All Cash

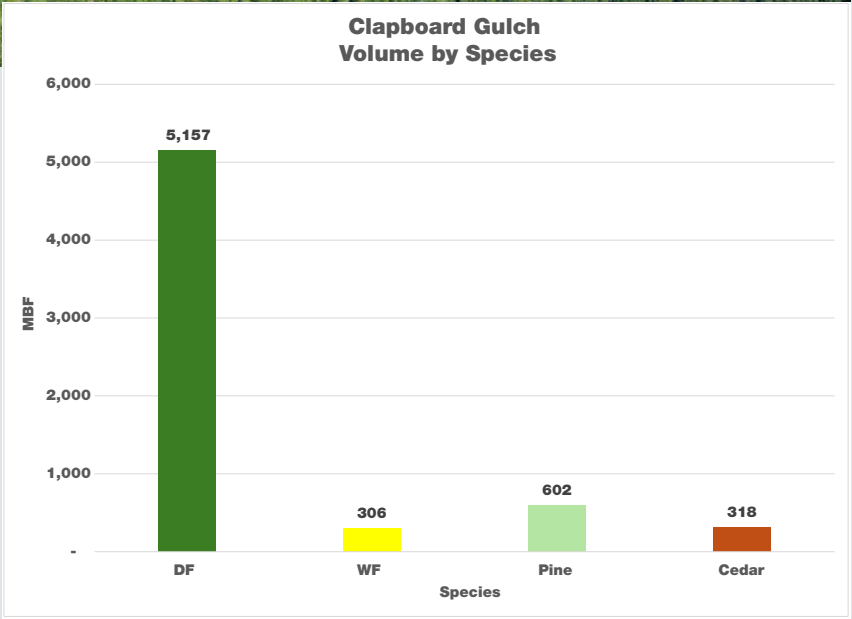
DESCRIPTION: The 320± acre Clapboard Gulch Tract is located .5 mile southeast of Auction Property 106, and 2.5 miles south of Williams. There is an estimated 6,383 MBF, or over 19,900 BF/AC with 82% Douglas-fir and the balance a mix of white fir, sugar pine, and incense cedar. Tract was cruised in 2017. Small diameter pole thinning was undertaken in 2020. Cable logging required for 71% of volume.

Majority of Tract is Site Class III, with steep north-, east-, and west-facing slopes.

BLM Road 39-5-15 provides access to the northwest corner and connects to East Fork Road. Existing road system will require improvement prior to logging. An ATV is needed to use the roads.

Riggs Logging is adjoining owner to the west. BLM is adjoining owner to the north, east, and south.

LOCATION: Township 39 South, Range 5 West, Section 16, Tax Lot 400, Parcel No R328207, Josephine County, Oregon



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PUBLISHED RESERVE: \$3,895,000 / \$6,492 per acre

LAST ASKING: First Time Offered

SIZE: 600± Acres

ELEVATION: Thompson Creek - 2,200± to 2,900± Feet

Pipe Fork - 2,200± to 3,300± Feet (Pipe Fork)

ZONING: FC (Forest Commercial)

PROPERTY INSPECTION: Thompson Creek - Locked Gate. Contact Auction Information Office for Combination - info@rmnw-auctions.com or 800-845-3524

Pipe Fork - Unlocked Gate. ATV Recommended

FINANCING: None – All Cash

DESCRIPTION: This 600± acre two-tract package is the largest property being offered by Josephine County in the Auction, containing 9,323± MBF, with 80%, or 7,484± MBF of Douglas-fir, and the balance primarily white fir and pine. Both the 280± acre Thompson Creek Tract and 320± acre Pipe Fork Tract are located five miles south of Williams.

Thompson Creek Tract has access via an easement from Thompson Creek Road to the southeast section. Roads at Thompson Creek will need some improvement prior to logging.

There is a total of 2,708± MBF with 2,199± of Douglas-fir and the balance a mix of ponderosa and sugar pine. Some small diameter pole thinning was undertaken during the past two years.

Tract is a combination of Site Classes III and IV. Topography is moderate to steep west- and east- facing slopes from a ridge in the northwestern portion of property. It is estimated that 34% of the volume requires cable logging.





Adjoining owners are private to the east, and BLM ownership is to the north, west, and south.

The 320± acre Pipe Fork Tract has an estimated 6,616 MBF with 5,285± MBF of Douglas-fir, 753± MBF white fir, 450± MBF mix of ponderosa and sugar pine, and the balance cedar. 80% of the volume on Pipe Fork Tract will require cable logging.

Access is from the end of East Fork Road. There is an unlocked gate near the northeast corner. Ditch Trail to Pipe Fork, an old mining ditch, is used for hiking along Pipe Fork Creek. An ATV is recommended due to condition of road that runs along southeast section from northwest corner to southwest corner. Topography is a combination of north- and south-facing moderate to steep slopes.

Pipe Fork Creek bisects southern section of Tract. A portion of the Tract was thinned in 2011 with removal of 1,444± MBF.

Tract is mostly Site Class III, with 75 acres classified as Site Class II.

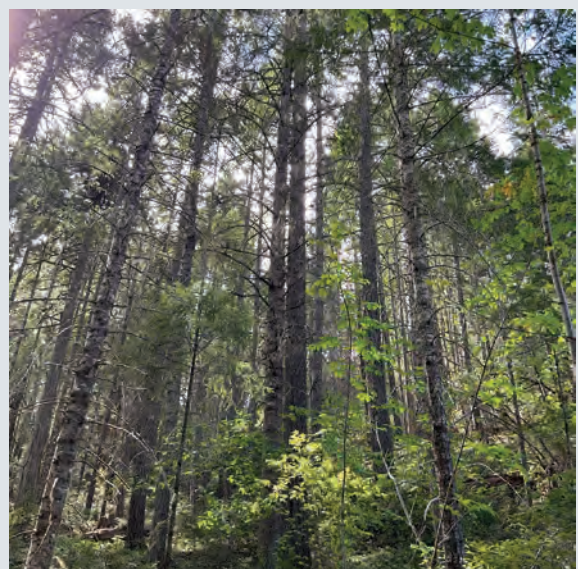
BLM is adjoining owner to the east, south and west, and private ownership is to the north. Upper reaches of Pipe Fork Creek are located within a designated research natural area by BLM adjacent to the auction property.

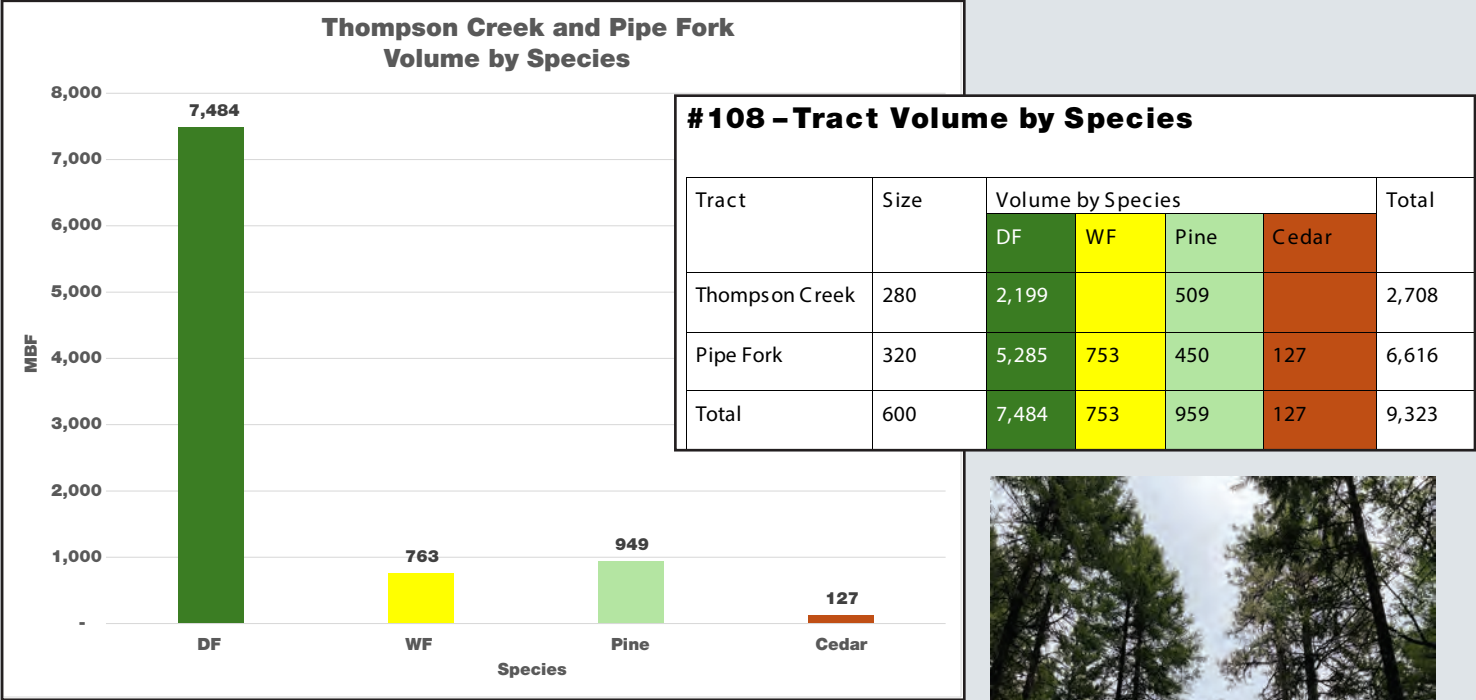
Pipe Fork was cruised in 2020 and Thompson Creek in 2021.

Acquisition of Thompson Creek/Pipe Fork Package of 600± acres provides a total of 9,323± MBF, or 30% of the entire merch timber in the Josephine County offering, and significant near-term cash flow.



Easement Road





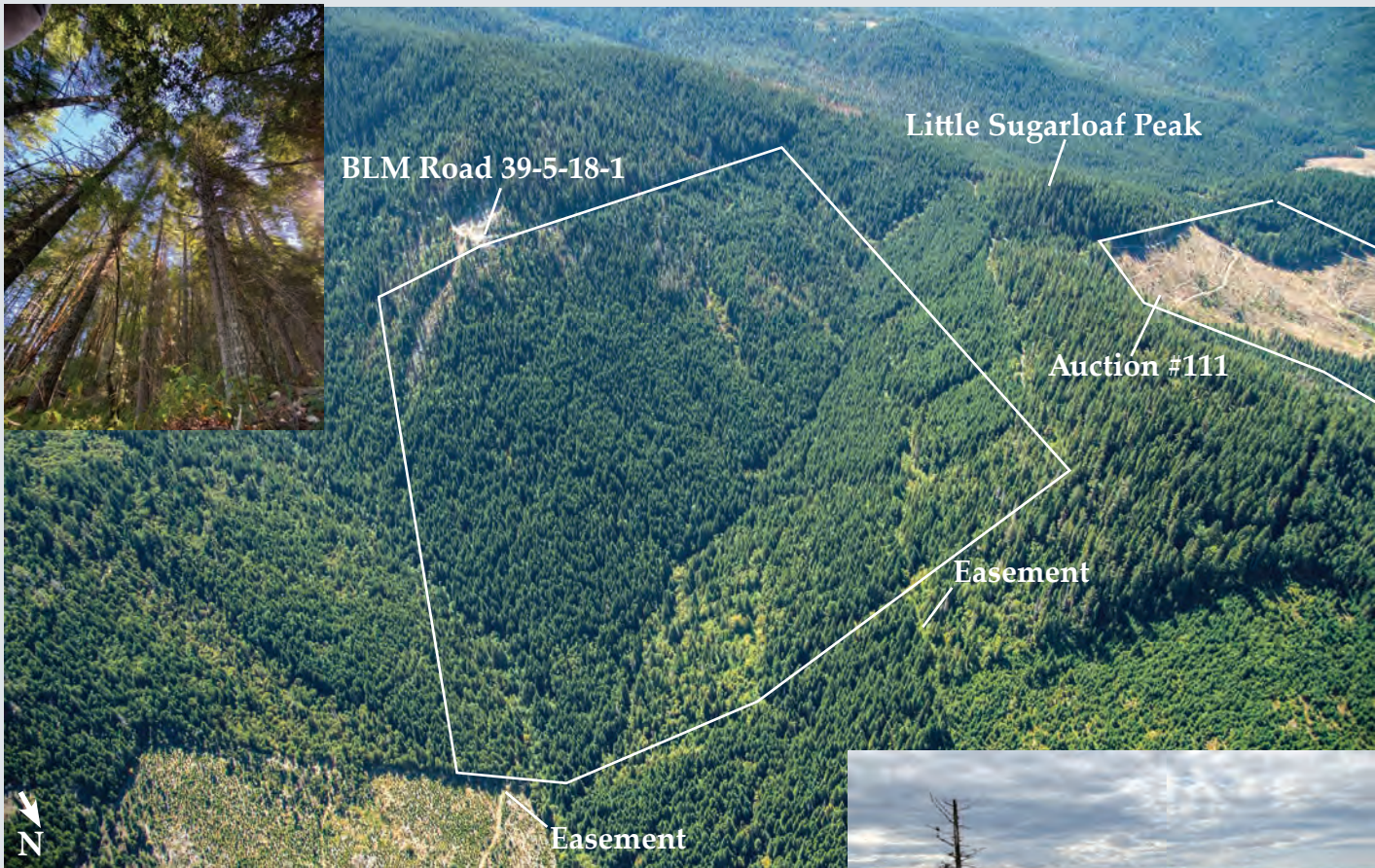
LOCATION: Township 39 South, Range 5 West, Section 24, Tax Lot 300, Parcel No R328688 and Township 39 South, Range 5 West, Section 26, Tax Lot 2200, Parcel No R328227, Josephine County, Oregon

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109

Little Sugarloaf Timber Tract with 3,865± MBF

Josephine County, Oregon [County Property Number 24c-16]



PUBLISHED RESERVE: \$1,235,000 / \$7,719 per acre
LAST ASKING: First Time Offered
SIZE: 160± Acres
ELEVATION: 3,100± to 4,300± Feet
ZONING: FC (Forest Commercial)
PROPERTY INSPECTION: Locked Gate at southern boundary, walk in only. Contact Auction Information Office for combination - info@rmnw-auctions.com or 800-845-3524
FINANCING: None – All Cash

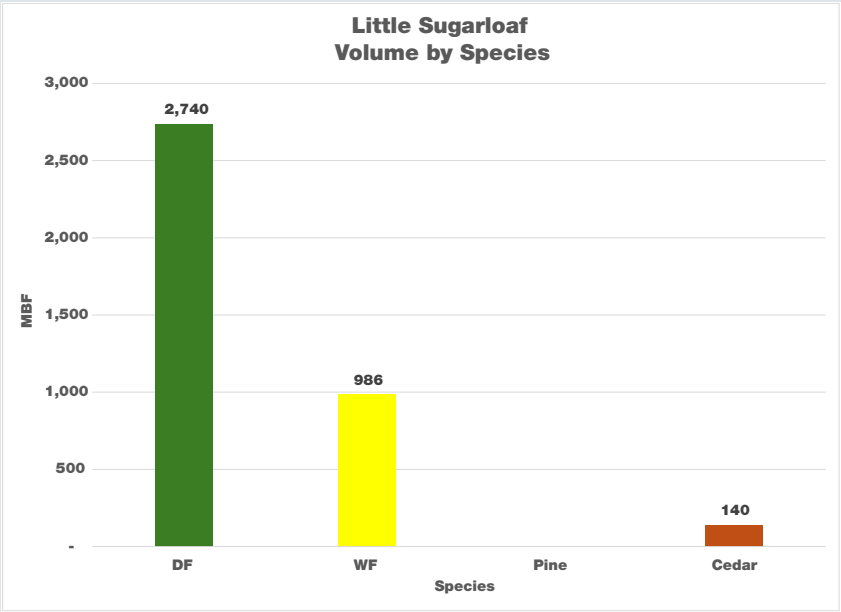
DESCRIPTION: Little Sugarloaf Timber Tract is located six miles southwest of Williams near both Auction Properties 110 and 111, along east-facing slope of Little Sugarloaf Peak. There is an estimated 3,865 MBF with 71%, or 2,740± MBF, of Douglas-fir and the balance white fir with some cedar. It has 24,150± BF/AC, the highest volume level of all Josephine County Auction Properties. BLM Road 39-6-36 provides access to the southeast corner, and to Auction Property 111, one-eighth mile to the west. There is an easement from BTG Pactual, adjoining owner to the north, via spur road to northeast and northwest corners, which connects to BLM Mainline 39-5-18-1 to Cedar Flat Road. Topography is steep north-facing slopes. Cable logging will be required to harvest 90% of the volume. Existing roads along western section will need some improvement.

Little Sugarloaf Tract has an estimated 50 Site Class I acres, with balance primarily Site Class III. Portions of Tract were thinned in 1997 which removed 747± MBF. It was cruised in 2021.

Acquisition of both Little Sugarloaf and Low Divide Tracts will provide a total of 320± acres with a total of 4,400± MBF available for near-term cash flow and 112± acres of young reproduction, providing long-term asset growth.

LOCATION: Township 39 South, Range 5 West, Section 30, Tax Lot 3100, Parcel No R328236, Josephine County, Oregon

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PUBLISHED RESERVE: \$99,500 / \$1,244 per acre

LAST ASKING: First Time Offered

SIZE: 80± Acres

ELEVATION: 3,700± to 4,300± Feet

ZONING: S (Serpentine)

PROPERTY INSPECTION: At Any Time

FINANCING: None – All Cash

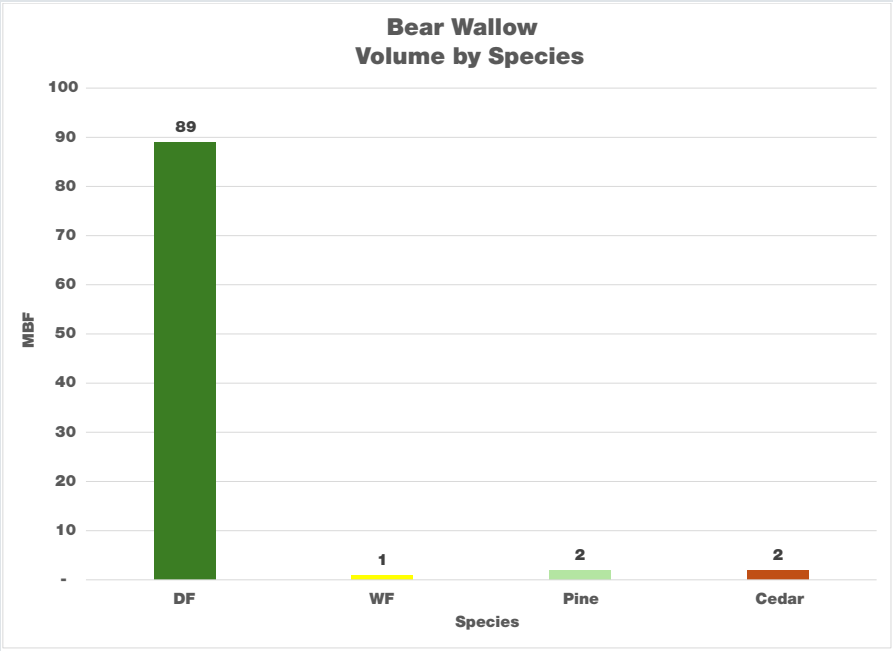
DESCRIPTION: 80± acre Bear Wallow Tract is located one mile northwest of Auction Property 111. 71± acres were harvested in 2018 and replanted in 2020. An estimated 105 MBF of remaining Douglas-fir is located in northwest corner of property.

Topography is mostly ridgetop with moderate southwest- and east-facing slopes. 100% of the 2018 harvest used a ground-based system.

Access to the northeast corner is from BLM Road 39-6-11, Bear Wallow Road. BLM is adjoining owner to the north, west, and east. Manulife is adjoining owner to the south.

LOCATION: Township 39 South, Range 6 West, Section 26, Tax Lot 1900, Parcel No R328752, Josephine County, Oregon

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THAN 4:00 PM, NOVEMBER 13, 2024**





PUBLISHED RESERVE: \$412,500 / \$2,578 per acre
LAST ASKING: First Time Offered
SIZE: 160± Acres
ELEVATION: 3,300± to 4,300± Feet
ZONING: FC (Forest Commercial)
PROPERTY INSPECTION: Locked Gate. Contact Auction Information Office for combination - info@rmnw-auctions.com or 800-845-3524
FINANCING: None – All Cash



DESCRIPTION: 160± acre Low Divide Tract is located just west of Auction Property 109. It contains an estimated 932 MBF with 70% Douglas-fir and the balance primarily white fir. Timber is located in western and southeast portions of tract on a total of 43± acres, and should be available to harvest in 2025. 112± acres were logged in 2021, which generated 3,364± MBF. The property was cruised in 2021. 100% of the volume can be harvested using a ground-based system.

Topography is mainly moderate north-facing slopes of Site Class IV.
BLM Road 39-5-18.1 provides access to Camp Road.
Adjoining owner is BGT Pactual to the south, BLM north and east, and USFS west.

LOCATION: Township 39 South, Range 6 West, Section 36, Tax Lot 3000, Parcel No R328767, Josephine County, Oregon

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