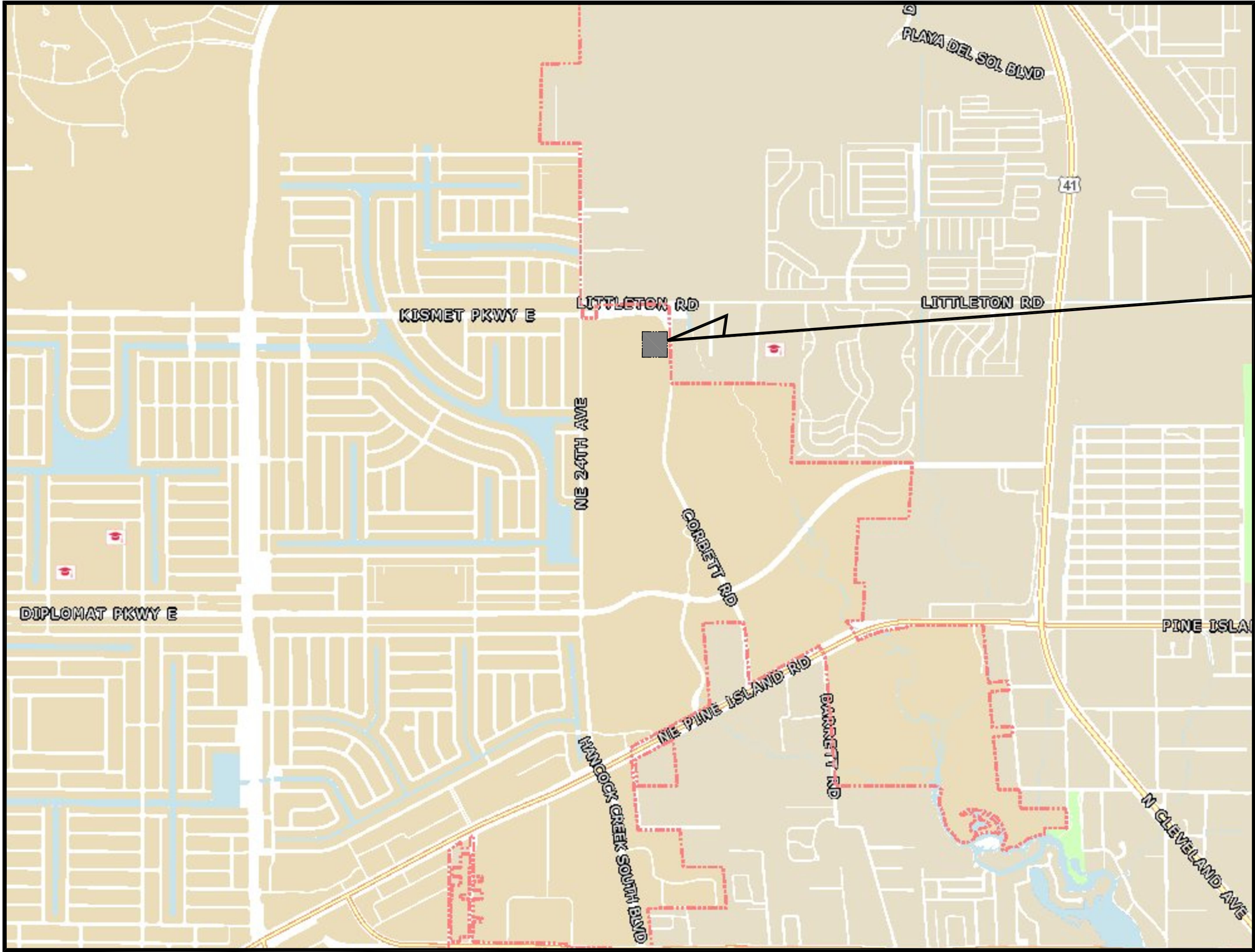


DEVELOPMENT PLANS
FOR

CORBETT ROAD INDUSTRIAL BUILDING

SECTION 33, TOWNSHIP 43 SOUTH, RANGE 24 EAST
CAPE CORAL, FLORIDA



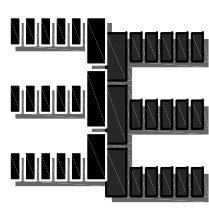
LOCATION MAP

OWNER:
CC HOME BUILDERS
7901 4TH STREET N., SUITE 300
ST. PETERSBURG, FLORIDA 33702

PROJECT LOCATION:
33-43-24-C1-00001.002A
1813 CORBETT ROAD
CAPE CORAL, FLORIDA 33909

- INDEX:**
- C-1 COVER
 - C-2 AERIAL
 - C-3 SITE PLAN
 - C-4 GRADING & DRAINAGE PLAN
 - C-5 UTILITY PLAN
 - D-1 CROSS SECTIONS
 - D-2 CAPE CORAL UTILITY DETAILS
 - D-3 DETAILS
 - SWP3 SWP3

CONSULTANT:

 **Exceptional Engineering, Inc.**
P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
JasonW@exceptionaleng.com
Business Cert # 25968
Contact: Jason P. White

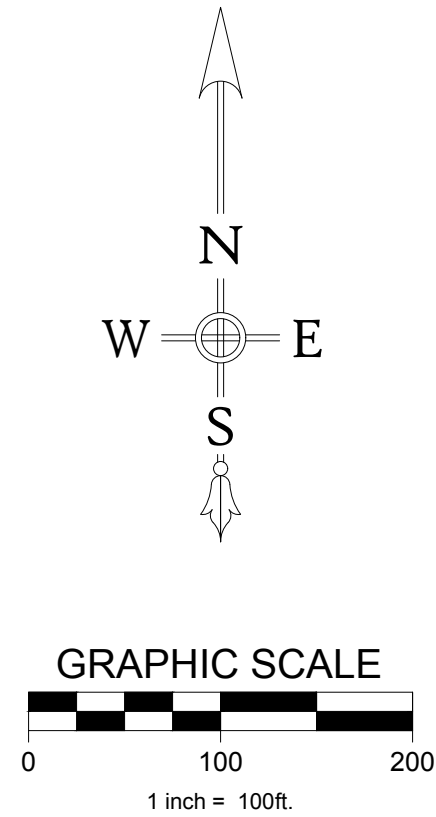
CALL BEFORE YOU DIG:
SUNSHINE STATE ONE CALL CENTER
PHONE: (800) 432-4770
(MINIMUM 48 HOURS NOTICE REQUIRED)

Revised April 2023
E.E.I. JOB # 20-72

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FLA. REG. P.E. #70920

DATE _____
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LEGEND	
	EXISTING ELEVATION
	PROPERTY LINE
	EXISTING ROAD RIGHT OF WAY
	EXIST. FEATURES (E.O.P., SIDEWALK, DRIVES, ETC.)
	EXISTING WATER MAIN
	EXISTING FORCE MAIN
	EXISTING SANITARY SEWER

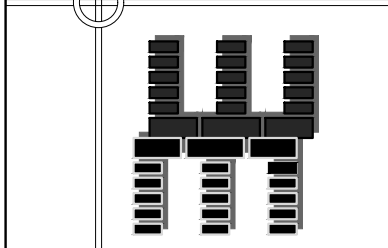
DATE	REVISION	DESCRIPTION

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Exceptional Engineering, Inc.
P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
JasonW@exceptionaleng.com
Business Cert # 25968



Date : 10-27-20
Scale : 1" = 100'
Design: J.P.W.
CAD : J.R.B.
Check : J.P.W.
File : 20-72-C002b

AERIAL & EXISTING CONDITIONS
1813 CORBETT ROAD
CAPE CORAL, FLORIDA

CC HOME BUILDERS, LLC.
1813 CORBETT ROAD, CAPE CORAL, FLORIDA 33909

SHEET #
C-2
JOB # 20-72
FOR REVIEW ONLY

GENERAL CITY OF CAPE CORAL NOTES:

- CONTRACTOR IS REQUIRED TO FOLLOW ALL STATE AND LOCAL BUILDING AND DEVELOPMENT CODES AND STANDARDS. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY ENGINEERING DESIGN STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION. FEDERAL A.D.A. REQUIREMENTS WILL SUPERSEDE ALL CONFLICTS WITH STATE AND LOCAL STANDARDS. ALL DEVIATIONS FROM THE CITY ENGINEERING DESIGN STANDARDS SHALL BE SPECIFICALLY ADDRESSED IN WRITING FOR REVIEW AND APPROVAL BY THE CITY ENGINEER PRIOR TO RIGHT-OF-WAY FINAL. ALL OTHER ERRORS, OMISSIONS OR CONFLICTS WITH THE SITE PLAN OR SPECIFICATIONS SHALL BE RESOLVED IN FAVOR OF THE CITY ENGINEERING DESIGN STANDARDS.
- ALL WORK OR MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATION OF THE CITY OF CAPE CORAL ENGINEERING DESIGN STANDARDS OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR ANY WORK PERFORMED WITHOUT AN INSPECTION BY A REPRESENTATIVE OF THE CITY OF CAPE CORAL PUBLIC WORKS DEPARTMENT IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS REQUIRED TO GET ALL THE NECESSARY RIGHT-OF-WAY PERMITS AND PROVIDE ALL NECESSARY WORK ZONE CONTROLS AND SAFETY REQUIREMENTS FOR THE PROJECT. TRAFFIC CONTROLS ARE REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY. THE CITY OF CAPE CORAL HAS ADOPTED THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND REQUIRES A MAINTENANCE OF TRAFFIC PERMIT TO ENSURE COMPLIANCE WITH THESE STANDARDS. A TRAFFIC MAINTENANCE PLAN IS REQUIRED FROM THE CONTRACTOR AND MUST BE APPROVED BY THE CITY TRANSPORTATION DEPARTMENT PRIOR TO STARTING WORK IN THE RIGHT-OF-WAY. FOR MORE INFORMATION THE CONTRACTOR SHOULD REFERENCE CITY ENGINEERING DESIGN STANDARDS SHEET G-4 AND THE CURRENT VERSION OF SECTION 600 AND SECTION 700 OF F.D.O.T. STANDARD SPECIFICATIONS. CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS COULD RESULT IN THE CITY IMPOSING A STOP WORK ORDER ON THE PROJECT.
- CONTRACTOR TO NOTE THAT DESIGN ELEVATIONS FOR THE RIGHT-OF-WAY SHOWN, ON THE PLANS MAY DIFFER FROM THE CITY'S MASTER DESIGN PLAN. THE CITY'S SURVEY DEPARTMENT WILL SET THE GRADES FOR CURBS AS PER THE CITY'S CURB AND ROAD MAINTENANCE MASTER PLAN. THE CONTRACTOR SHALL CHECK WITH THE CITY'S ENGINEERING DEPARTMENT TO OBTAIN RIGHT-OF-WAY DESIGN INFORMATION AND LATEST CHANGES IF ANY.
- THE CONTRACTOR SHALL ENSURE THAT WITH ALL ROAD IMPROVEMENTS, THE EXISTING ASPHALT ROAD EDGE IS CUT BACK A MIN. OF 1 FT FOR THE ENTIRE LENGTH OF THE ASPHALT WIDTHING TO BE CONSTRUCTED AND ANY OF THE EXISTING THERMOPLASTIC STRIPING REMAINING ALONG THE CUT EDGE WILL BE GROUND OFF. THE SUB-BASE AND CUT EDGE ARE TO BE TACK COATED PRIOR TO THE INSTALLATION OF THE NEW ASPHALT, AND THAT ALL NEW STRIPING SHALL BE THERMOPLASTIC AND PLACED ALONG THE CURB PER M.U.T.C.D. SPECIFICATIONS.
- CONCRETE FORMS ARE REQUIRED ON BOTH SIDES OF ALL REPLACEMENT CURBS AS OUTLINED ON SHEET F-3 OF THE CITY ENGINEERING DESIGN STANDARDS. INSPECTIONS SHALL BE REQUESTED AND APPROVED PRIOR TO PLACEMENT OF CONCRETE AND/OR ASPHALT IN THE CITY OF CAPE CORAL'S RIGHT-OF-WAY.
- ALL BROKEN AND VERTICALLY MISALIGNED SECTIONS OF EXISTING SIDEWALKS AND CURB IN THE CITY OR COUNTY RIGHT-OF-WAY DIRECTLY ADJACENT TO THIS SITE THAT DO NOT MEET A.D.A. MINIMUM REQUIREMENTS SHALL BE REPLACED AT THE OWNER'S EXPENSE.
- SIDEWALKS PASSING THROUGH DRIVEWAY APRONS SHALL COMPLY WITH LATEST VERSION OF THE FEDERAL A.D.A. SEE ALSO F.D.O.T. INDEX 515 PAGES 1-6 FOR MORE DETAILS.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS AT INTERVALS OF 100 FT. ON CENTER FOR ALL CURB AND GUTTER AND SIDEWALK INSTALLED IN THE RIGHT-OF-WAY. CONTRACTION JOINTS ARE TO BE SAW CUT AT 5' ON CENTER FOR SIDEWALKS AND 10' ON CENTER FOR CURB. EXPANSION MATERIAL IS NOT TO BE PLACED BETWEEN THE BACK OF THE CURB AND THE SIDEWALK OR DRIVEWAY APRON. FOR ADDITIONAL DETAILS REFER TO F.D.O.T. INDEXES 300 AND 310.
- CITY REQUIREMENTS FOR MATERIALS TEST REPORTS SHOULD BE DETERMINED AT THE BEGINNING OF THE PROJECT AND SHOULD BE AVAILABLE TO THE INSPECTOR AT THE TIME OF REQUIRED INSPECTION. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED TESTING OF ROAD IMPROVEMENTS AT THE APPROPRIATE TIME DURING DEVELOPMENT TO ENSURE COMPLIANCE WITH MINIMUM CITY DESIGN STANDARDS. CERTIFIED TEST REPORTS ARE REQUIRED FOR COMPACTION OF SUB-GRADE AND BASE COURSE. IN PLACE IN-PLACE THICKNESS OF ROAD BASE AND ASPHALT FOR NEW ROAD AND ALLEY CONSTRUCTION IS ALSO REQUIRED PRIOR TO AN ENGINEERING RIGHT-OF-WAY FINAL. DELAY IN RECEIVING AN APPROVED RIGHT-OF-WAY FINAL DELAY IN RECEIVING AN APPROVED RIGHT-OF-WAY FINAL COULD RESULT IN DELAYS IN RECEIVING THE CERTIFICATE OF OCCUPANCY FOR THE COMPLETED PROJECT. TESTING OF IMPROVEMENTS IN THE RIGHT-OF-WAY IS REQUIRED TO ENSURE COMPLIANCE WITH THE MINIMUMS OF THE DESIGN CROSS SECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL CITY RIGHT-OF-WAY DISTURBED OR DAMAGED DURING CONSTRUCTION UP AND TO THE POINT THAT FINAL APPROVAL IS RECEIVED FROM THE CITY. RIGHT-OF-WAY, SWALE AND OTHER DIFFERENCES IN GRADE INCLUDING PRIVATE PROPERTY SHOULD BE GRADED AT A 4:1 SLOPE. THESE AREAS SHALL BE COVERED WITH HYDRO SEED OR SOD. SOD ONLY IS TO BE PLACED ALONG THE EDGE OF NEW OR EXISTING PAVEMENT AND 10-FOOT IN ALL DIRECTIONS AROUND STORM WATER INLETS. THIS INCLUDES PROPERTIES LOCATED ACROSS ALLEYS IMPROVED AS PART OF THE PROJECT.
- THE CONTRACTOR WILL BE REQUIRED TO CONTACT THE SITE DEVELOPMENT AND REVIEW DIVISION TO COORDINATE THE INSTALLATION AND INSPECTIONS OF CITY STORM WATER SYSTEM. AFTER ALL OF THE NEW PIPES AND STRUCTURE HAVE BEEN INSTALLED AND APPROVED BY THE CITY, THE OLD PIPES AND ANY STRUCTURES ON THE PROPERTY MUST BE REMOVED. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A SURVEYOR TO DO THE LAYOUT FOR INSTALLATION OF THE NEW SYSTEM.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROLS FOR THE STORM WATER SYSTEM OF THE CITY RIGHT-OF-WAY AT THE START OF CONSTRUCTION. CONTROLS MUST BE MAINTAINED UNTIL RIGHT-OF-WAY CONSTRUCTION IS COMPLETE AND RESPONSIBILITY FOR THE WORK IS ACCEPTED BY THE CITY OF CAPE CORAL. SHOULD THE CONTRACTOR'S STORM WATER PROTECTIVE SYSTEM NOT BE INSTALLED OR FAIL, THE CONTRACTOR SHALL UPON COMPLETION CLEAR AND CLEAN THE ENTIRE STORM SEWER SYSTEM TO THE CANAL. EROSION CONTROL METHODS ARE DETAILED ON SHEETS M-1 TO M-27 OF THE CITY OF CAPE CORAL ENGINEERING DESIGN STANDARDS. (SEE ALSO FLORIDA STORM WATER, EROSION AND SEDIMENTATION CONTROL INSPECTION MANUAL FOR ADDITIONAL INFO).
- ALL CITY SIGNS IN OR ADJACENT TO THE CITY RIGHT-OF-WAY THAT MUST BE RELOCATED SHALL BE COORDINATED WITH THE CITY TRAFFIC DEPARTMENT. STOP SIGNS MUST BE MAINTAINED DURING CONSTRUCTION BY RELOCATING THE EXISTING SIGN IF POSSIBLE, USE A TEMPORARY SIGN OR A COMBINATION OF BOTH. PLEASE GET IN TOUCH WITH THE TRAFFIC DEPARTMENT FOR RELOCATION OF SIGNS, APPROVAL OF NEW SIGNS, AND REQUIRED STRIPING OF ADJACENT RIGHT-OF-WAY. ALL RIGHT-OF-WAY STRIPING AND SIGNS MUST COMPLY WITH THE LATEST VERSION OF THE M.U.T.C.D. ALL PRIVATE TRAFFIC SIGNS AND STOP BARS ARE TO BE LOCATED ON PRIVATE PROPERTY BEHIND THE CITY RIGHT-OF-WAY LINE. TEMPORARY STREET SIGNS MAY BE PLACED WITHIN THE RIGHT-OF-WAY TO IDENTIFY STREET LOCATIONS. COORDINATION WITH THE CITY TRAFFIC DEPARTMENT IS REQUIRED.
- THE SITE CONTRACTOR WILL BE RESPONSIBLE TO ENSURE THAT ALL ABOVE GROUND PUBLIC UTILITY STRUCTURES IN THE RIGHT-OF-WAY MUST BE RELOCATED TO THE UTILITY EASEMENT BEHIND THE RIGHT-OF-WAY LINE. THIS WOULD INCLUDE ALL TYPES SUCH AS POWER POLES, TELEPHONE CONNECTION BOXES, SWITCH GEAR BOXES AND ANY STRUCTURES USED TO SUPPLY OR SUPPORT A PUBLIC SERVICE NOT SUPPLIED BY THE CITY OF CAPE CORAL UTILITY. FOR ALL OTHER UTILITIES MAINTAINED BY THE CITY CONTACT THE CITY UTILITY DEPARTMENT.
- ALL FRAMES, COVERS, VALVE BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION.
- CONSTRUCTION OF THE TYPE-4 CURB INLET SHALL BE PER CITY DETAILS AND SPECIFICATIONS. SEE SHEET C-3 AND SHEET C-9 OF THE CAPE CORAL ENGINEERING DESIGN STANDARDS AND F.D.O.T. INDEX 210 FOR ADDITIONAL INFORMATION. THE LAST STRUCTURE IN THE SYSTEM PRIOR TO A CANAL IS REQUIRED TO HAVE A TWO-FOOT BOTTOM SUMP BELOW THE LOWEST PIPE.
- ROUND STORM DRAINS ADJACENT TO INLETS ARE SUMP WELLS THAT CONNECT TO UNDERGROUND RETENTION SYSTEMS THAT PARALLEL THE RIGHT-OF-WAY AND SHALL BE ATTACHED TO INLETS AS PER DETAILS SHOWN.
- ALL WORK/MATERIALS THAT DO NOT CONFORM TO LOCAL OR STATE STANDARDS, OR THAT ARE NOT PROPERLY INSPECTED BY A CITY REPRESENTATIVE ARE SUBJECT TO REMOVAL, OR REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL CONCRETE WITHIN CITY OF R.O.W. MUST BE 3000 P.S.I. MINIMUM.
- THE CITY OF CAPE CORAL WILL DO CONSTRUCTION LAY OUT FOR LOCATION AND ELEVATION OF STORM WATER STRUCTURES, CURB, AND ALLEY IMPROVEMENTS AS PER THE CITY'S MASTER PLANS.
- ALL PROPERTY SURVEY MONUMENTS IN THE CITY OF CAPE CORAL'S RIGHT-OF-WAY ARE TO BE PLACED AND MARKED PRIOR TO REQUESTING SERVICES FOR SURVEYING LAY OUT AND/OR INSPECTIONS. ALL PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE PRESERVED. IF A PROPERTY CORNER OR MONUMENT IS DISTURBED OR DESTROYED DURING CONSTRUCTION, THE PROPERTY CORNERS OR MONUMENTS SHALL BE RESTORED WITH LIKE AND KIND MATERIALS PRIOR TO ENGINEERING FINAL.
- ALL MAILBOXES IN OR ADJACENT TO THE RIGHT-OF-WAY THAT MUST BE RELOCATED SHALL BE COORDINATED WITH THE CITY TRAFFIC DEPARTMENT AND THE LOCAL POST OFFICE FOR FINAL PLACEMENT. MAILBOXES MUST BE MADE AVAILABLE TO THE OWNER AND POSTAL DELIVERY SERVICE DURING CONSTRUCTION. TEMPORARY RELOCATION SHALL BE COORDINATED WITH THE LOCAL POST OFFICE.
- THE CITY ENGINEERING DEPARTMENT WOULD ADVISE THAT THE CONTRACTOR NOTIFY LEE COUNTY D.O.T. TRAFFIC SIGNAL MAINTENANCE DIVISIONS PRIOR TO STARTING CONSTRUCTION AND HAVE THEM CHECK ALL TRAFFIC CONTROL LEADS AND WIRING TOPS TO ENSURE THAT THEY ARE OPERATIONAL. LEE COUNTY TRAFFIC CONTROL MAINTENANCE DEPT. WILL PROVIDE ASSISTANCE ON MOVING OF ALL TRAFFIC SIGNAL BOXES.
- A PRECONSTRUCTION MEETING WITH THE CITY OF CAPE CORAL INSPECTORS, THE CONTRACTOR AND ANY SUBCONTRACTORS IS REQUIRED PRIOR TO COMMENCING WORK IN THE CITY OF CAPE CORAL'S RIGHT-OF-WAY.
- THE CONTRACTOR SHALL RESTORE ALL CITY RIGHTS-OF-WAYS DISTURBED OR DAMAGED PRIOR TO A CITY SITE DEVELOPMENT REVIEW FINAL.
- ALLEY RIGHT-OF-WAY SHALL BE BARRICADED AT THE START OF CONSTRUCTION, ON BOTH SIDE PROPERTY LINES WITH A MINIMUM OF TYPE III D.O.T. BARRICADES AND WITH SIGNS STATING, "DO NOT ENTER OR ROAD CLOSED" ON BOTH BARRICADES. BARRICADES SHALL REMAIN IN PLACE UNTIL THE CITY SITE DEVELOPMENT REVIEW FINAL INSPECTION.
- ANY DIFFERENCES IN GRADE BETWEEN THE ALLEY PAVEMENT EDGE AND PRIVATE PROPERTY SHALL BE GRADED AT 4:1 SLOPE.

SITE INFORMATION:

STRAP NOS.: 33-43-24-C1-00001.002A
ADDRESS: 1813 CORBETT ROAD
CAPE CORAL, FLORIDA 33702
ZONED: I (INDUSTRIAL)

LANDUSE: INDUSTRIAL
EXISTING LAND USE: VACANT INDUSTRIAL
SOILS: #50 - OLDSMAR FINE SAND, LIMESTONE SUBSTRATUM
#12 - FELDA FINE SAND

PARKING SPACE CALCULATIONS:

LIGHT INDUSTRIAL
1 SPACE PER 350 S.F.
REQUIRED = 49,729 S.F./350 S.F. = 142.08 SPACES
143 PARKING SPACES REQUIRED
159 SPACES PROVIDED (INCLUDING 6 HANDICAP)

GENERAL NOTES:

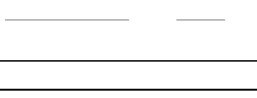
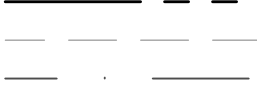
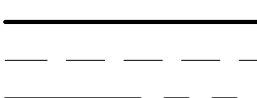
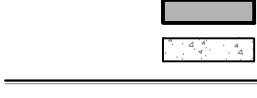
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION.
- UPON COMPLIANCE OF ALL FEDERAL, STATE AND LOCAL REGULATIONS BY THE OWNER, THIS SITE MAY BE SAFELY USED FOR BUILDING PURPOSES WITHOUT UNDUE DANGER FROM FLOOD. THE OWNER SHOULD RETAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER TO DETERMINE IF SUBSURFACE CONDITIONS EXIST WHICH MAY ADVERSELY EFFECT THE DEVELOPMENT OF THIS SITE. THE OWNER SHOULD RETAIN THE SERVICES OF A QUALIFIED STRUCTURAL ENGINEER TO DETERMINE CORRECT FOUNDATION DESIGNS FOR ANY PROPOSED STRUCTURES ON THE SITE.
- THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR CONSTRUCTION.
- ANY DEVIATIONS FROM THESE PLANS BY THE OWNER OR CONTRACTOR REQUIRES PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR AND/OR ANY OF HIS SUBCONTRACTORS SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCY OR ERRORS IN THE PLANS OR IF EXISTING CONDITIONS ARE NOT AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF CAPE CORAL A MINIMUM OF 72 HOURS PRIOR TO ALL INSPECTIONS REQUIRED BY THE CITY OF CAPE CORAL DEVELOPMENT CODE.
- THERE WILL BE NO ADVERSE IMPACTS TO GROUND OR SURFACE WATERS, WETLANDS, FLOOD PLAINS OR RIVERINE AREAS; OR ANY KNOWN ARCHEOLOGICAL SITES EXPECTED BY THE DEVELOPMENT OF THIS SITE.
- ALL ELEVATIONS ARE BASED UPON NAVD 1988, REFER TO SURVEY FOR DESCRIPTION OF BENCHMARK.
- THE LOCATION OF EXISTING UTILITIES, PAVEMENT, VEGETATION, AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY DEWATERING PERMITS REQUIRED FOR THIS PROJECT.
- A VEGETATION PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO PERMIT ISSUANCE.
- OWNER SHALL INSURE THAT THE GENERAL CONTRACTOR COMPLIES WITH ALL REQUIREMENTS OF STORM WATER POLLUTION PREVENTION (SWPP3). IF THE PROJECT AREA IS MORE THAN 1 ACRE, THE OWNER SHALL FILE A NOTICE OF INTENT (NOI) WITH DEP AT LEAST 48 HRS. PRIOR TO THE START OF CONSTRUCTION.
- ARTIFICIAL LIGHTING USED TO ILLUMINATE PREMISES SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES AND STREETS. SHINING ONLY ON THE SUBJECT SITE. ALL LIGHT FIXTURES TO BE FURNISHED WITH FLAT LENSES AND HOUSE SHIELDS FLAT CUTOFF TYPE TO LIMIT LIGHT POLLUTION FOR THE ADJOINING PROPERTIES.
- COASTAL SETBACK LINES DO NOT APPLY TO THIS PARCEL.
- THERE ARE NO APPARENT ENVIRONMENTALLY SENSITIVE LANDS OR HABITAT FOR ENDANGERED SPECIES ON THIS PARCEL.
- THERE ARE NO APPARENT FLOWING WELLS ON THIS PARCEL; IF ANY ARE FOUND DURING CONSTRUCTION, THEY WILL BE PLUGGED IN ACCORDANCE WITH SFWM AND DEP PLUGGING REQUIREMENTS.
- PRIOR TO THE START OF ANY CONSTRUCTION IN R.O.W. PROVIDE A CONNECTION PERMIT FROM THE CITY OF CAPE CORAL.
- CASING AND/OR CONDUIT SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT, BACK OF CURB AND/OR SIDEWALK AT EACH END.
- CONTRACTOR TO VERIFY ENGINEER'S BUILDING FOOTPRINT SIZE MATCHES ARCHITECTS BUILDING SIZE BEFORE BEGINNING CONSTRUCTION.
- YARD DRAINS SHALL BE ADDED IN GREEN AREAS AS NECESSARY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR ENGINEER.
- SEE ARCHITECTURAL PLANS FOR INFORMATION PERTAINING TO ALL PROPOSED BUILDING FEATURES.
- ALL PARKING LOT DIMENSIONS ARE LABELED TO THE EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN ON PLANS.
- PRIOR TO CONSTRUCTION OF THE PROPOSED FENCE, THE CONTRACTOR IS REQUIRED TO OBTAIN A FENCE PERMIT FROM THE CITY OF CAPE CORAL.
- CONSTRUCTION STAKEOUT SHALL BE FROM APPROVED CAD FILE OR STAKEOUT PLAN SHALL BE REQUESTED FROM THE ENGINEER OF RECORD.

PROPOSED LAND USE

TOTAL SITE AREA	217,820.00 SF	5.00 AC	100%
BUILDING AREA	49,729.00 SF	1.14 AC	23%
PAVEMENT AREA	83,758.00 SF	1.92 AC	38%
CONCRETE AREA	11,475.00 SF	0.26 AC	5%
OPEN SPACE	72,858.00 SF	1.67 AC	33%
TOTAL IMPERVIOUS AREA	144,962.00 SF	3.33 AC	67%
TOTAL PERVIOUS AREA	72,858.00 SF	1.67 AC	33%

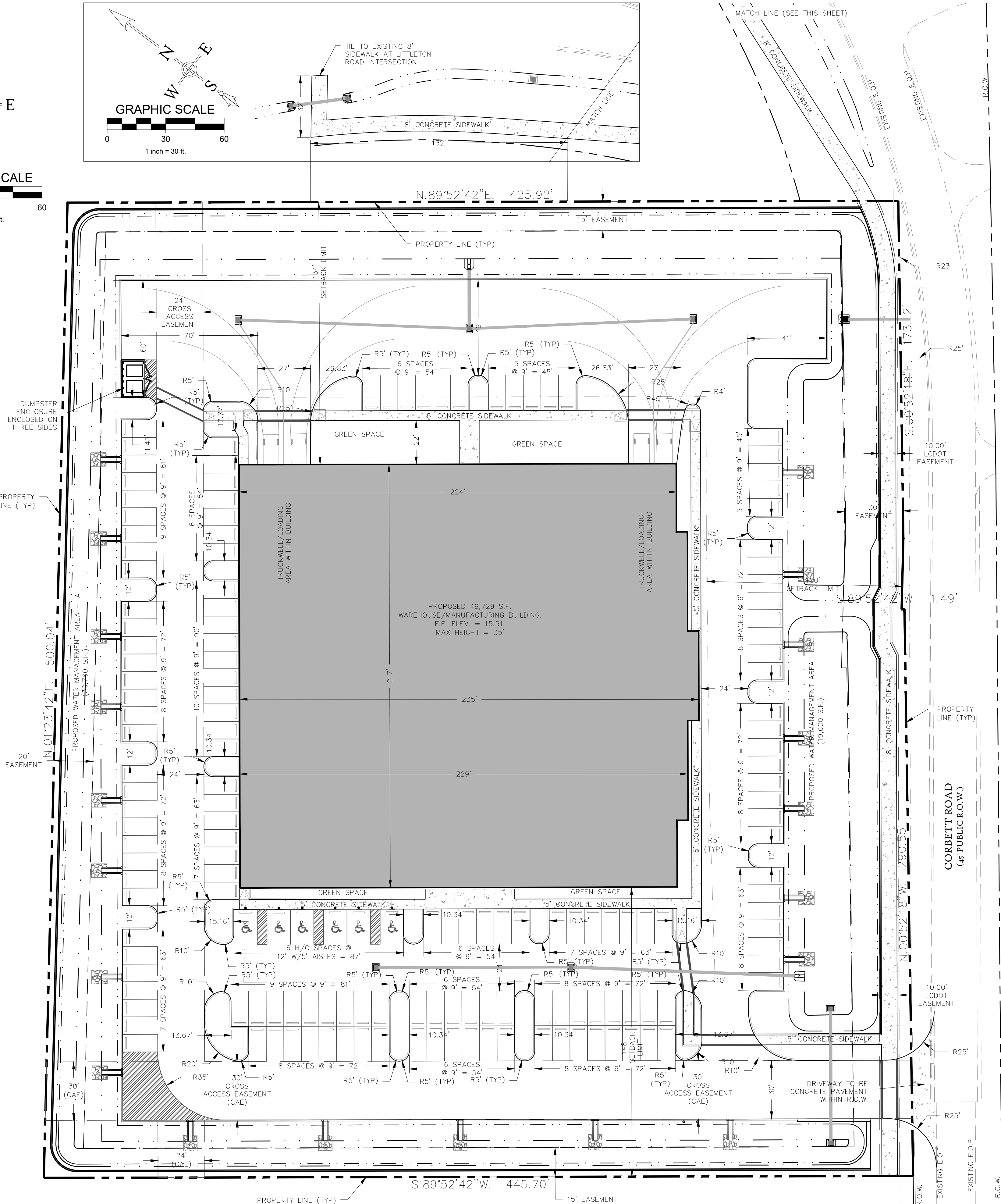
CALL BEFORE YOU DIG:

SUNSHINE STATE ONE CALL CENTER
PHONE: (800) 432-4770
(MINIMUM 48 HOURS NOTICE REQUIRED)



LEGEND

- PAINTED HANDICAP PARKING SYMBOL
- PROPOSED PAINTED TRAFFIC CIRCULATION ARROW
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- FOOT TYPE 'd' CURB
- PROPERTY LINE
- U-EAS - EXISTING UTILITY EASEMENT
- EXISTING ROAD RIGHT OF WAY
- EXIST. FEATURES (E.O.P., SIDEWALK, DRIVES, ETC.)
- EXISTING LOT LINES
- EXISTING ROAD CENTERLINE

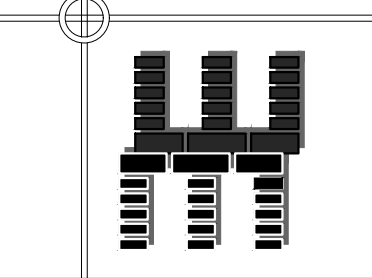


DATE	REVISION DESCRIPTION
04/20/23	Revised Bldg Per Client
02/02/24	Revised Per CCC Review

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FLA. REG. P.E. #70920
DATE
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Exceptional Engineering, Inc.
P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
Jason.W@exceptionaleng.com
Business Cert # 25968



Date : 02-21-24
Scale : 1" = 30'
Design: J.P.W.
CAD : J.R.B.
Check : J.P.W.
File : 20-72-C003a

SITE PLAN
1813 CORBETT ROAD
CAPE CORAL, FLORIDA
CC HOME BUILDERS, LLC.
1813 CORBETT ROAD, CAPE CORAL, FLORIDA 33909

SHEET #
C-3
JOB # 20-72
FOR REVIEW ONLY

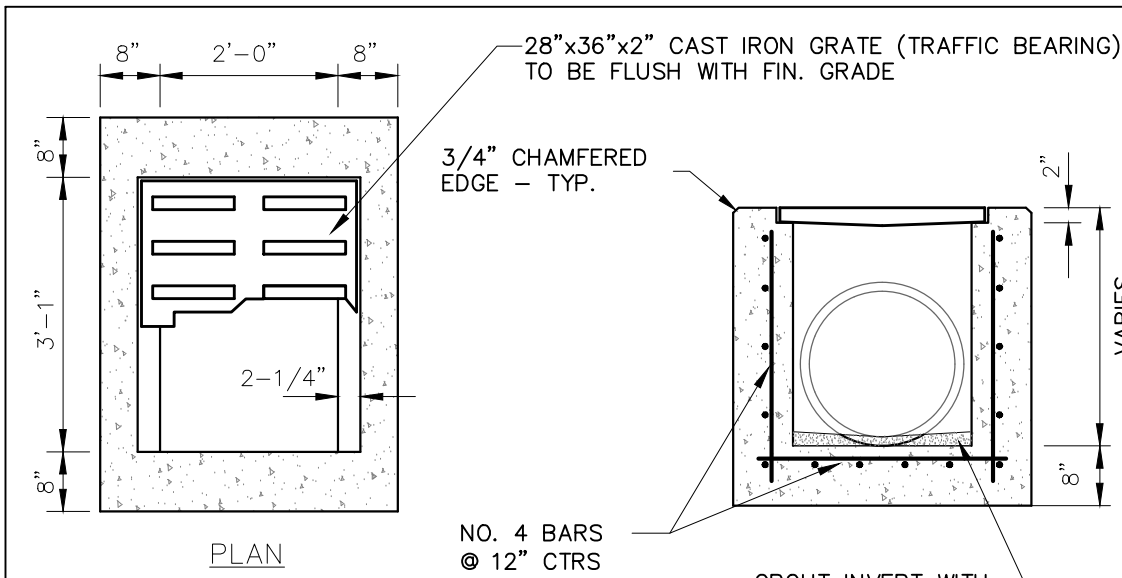
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ZONED: I (INDUSTRIAL)

LANDUSE: INDUSTRIAL
EXISTING LAND USE: VACANT INDUSTRIAL
SOILS: #50 - OLDSMAR FINE SAND, LIMESTONE SUBSTRATUM
#12 - FELDA FINE SAND

GENERAL DRAINAGE NOTES:

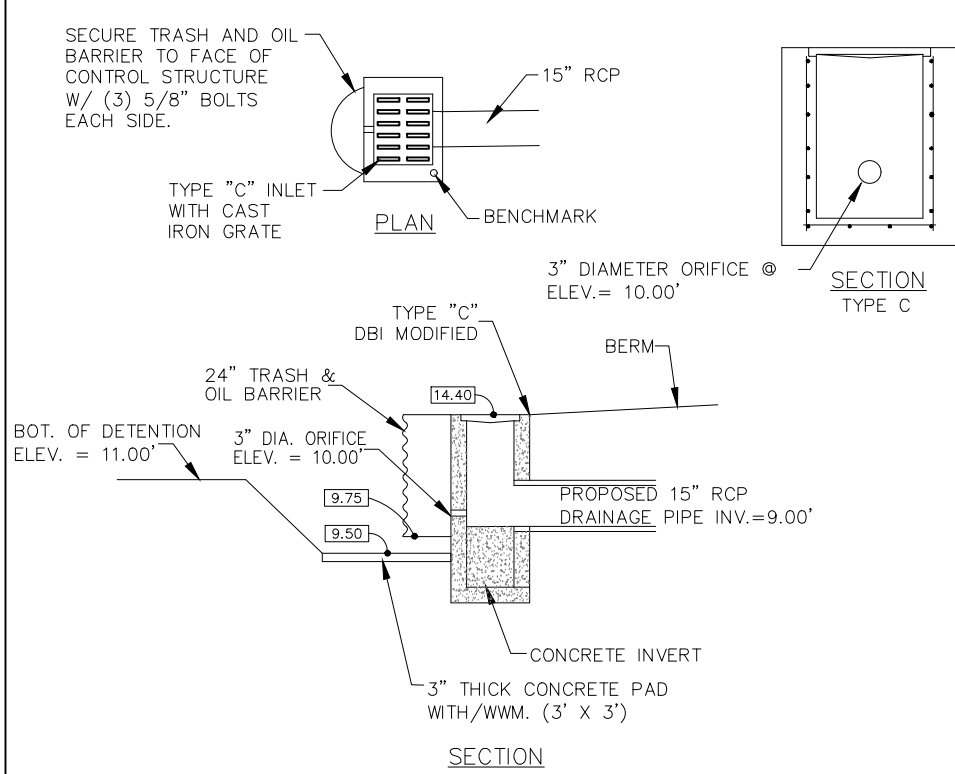
- THE LENGTH OF STORM DRAIN PIPES SHOWN ON PLANS ARE APPROXIMATE AND HAVE BEEN MEASURED FROM THE INSIDE FACE OF STRUCTURE.
- THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH PROPOSED GRADES.
- EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING CONSTRUCTION.
- SOD ALL DISTURBED AREAS; INCLUDING SWALES, SIDE SLOPES, BERMS, AND EMBANKMENTS. (TYPICAL)
- THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL ENCOUNTERED FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL UNSUITABLE MATERIAL EXCAVATED SHALL BE STOCKPILED OR REMOVED AS DIRECTED BY OWNER.
- DURING CONSTRUCTION, THROAT INLET OPENINGS, WHERE APPROPRIATE, SHALL BE COVERED WITH FILTER FABRIC (MARI 140M OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
- FINISH GRADE TO WITHIN 2" OF PAVEMENT ELEVATIONS BEFORE LAYING OF SOD. & MULCH BEDS. (STRICTLY ENFORCED)
- CONTRACTOR TO COORDINATE IRRIGATION CONDUIT LOCATIONS WITH IRRIGATION CONTRACTOR.
- SEE SURVEY FOR ADDITIONAL EXISTING GRADES OUTSIDE OF SITE BOUNDARY.
- ALL INLETS SHALL HAVE PIPES CUT FLUSH WITH INSIDE FACE OF INLET BOXES IN ALL CASES.
- ALL PERIMETER BERMS AND ANY NECESSARY PERIMETER GRADING ARE TO BE CONSTRUCTED FIRST IN ORDER TO RETAIN ALL SURFACE WATER RUNOFF ON SITE WITH THE ONLY DISCHARGE ALLOWED TO BE THROUGH APPROVED WEIRS.
- ELEVATIONS ARE BASED ON SURVEY INFORMATION PROVIDED BY HARRIS-JORGENSEN, LLC.
- SITE WILL BE REQUIRED TO ADHERE TO LAND USE REGULATION 5.2 E-RETENTION/DETENTION AREAS I.E. TREES AND SHRUBS MUST NOT INTERFERE WITH THE VOLUME OF STORMWATER STORAGE; TREES AND SHRUBS MUST NOT INTERFERE WITH THE REQUIRED SIDE SLOPES; TREES AND SHRUBS MUST NOT INTERFERE WITH OR IMPEDE THE FLOW OF RUNOFF. RETENTION/DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLANS APPROVAL; NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION/DETENTION AREA.



TOP SLAB SHALL BE REINFORCED WITH NO. 5 BARS @ 8" O.C. EACH WAY AND SHALL BE 8" THICK. CONCRETE - 4000 PSI, TYPE II STEEL - GRADE 60

TYPE "C" INLET

N.T.S.



CS-1: MODIFIED TYPE "C" CONTROL STRUCTURE

N.T.S.

LEGEND

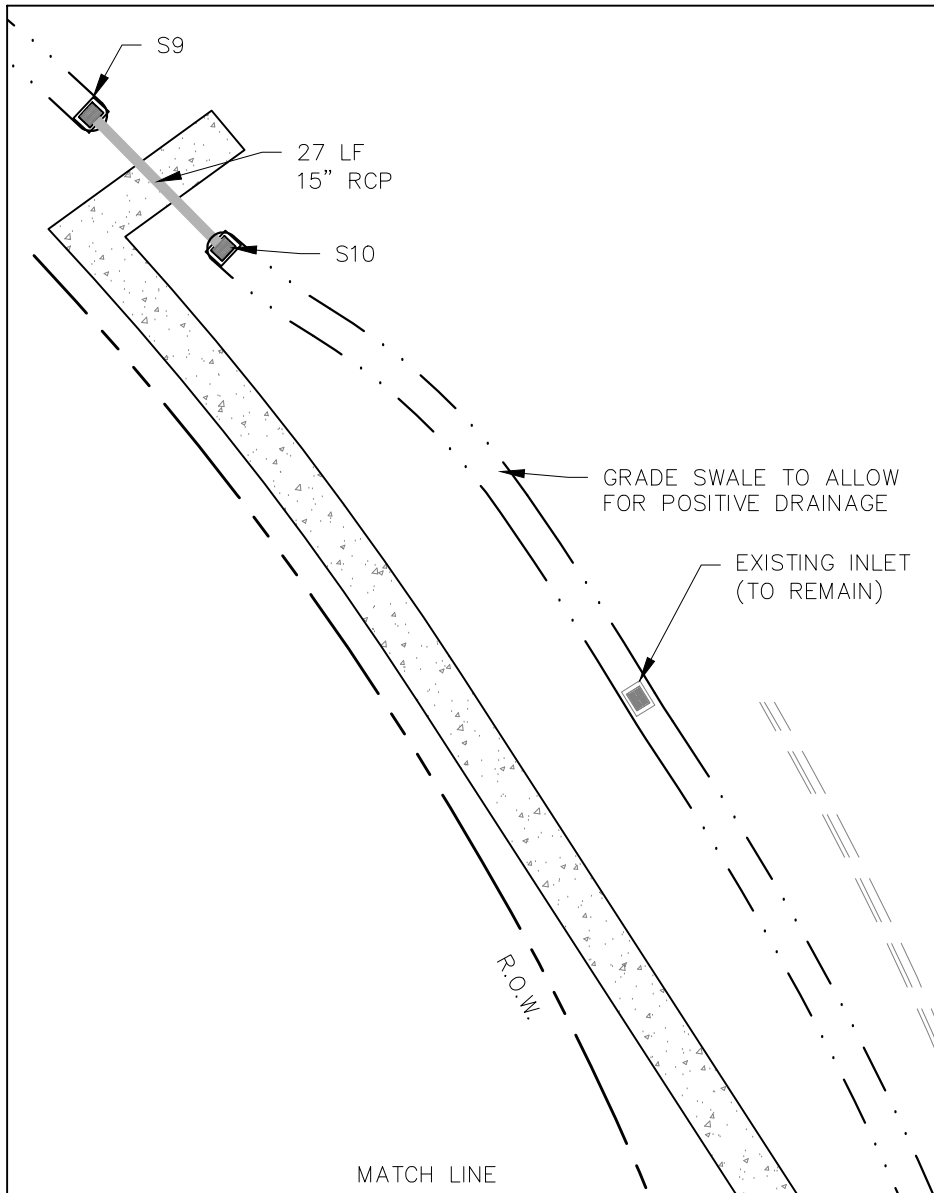
- PAINTED HANDICAP PARKING SYMBOL
- PAINTED TRAFFIC CIRCULATION ARROW
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED PIPE NUMBER
- PROPOSED STRUCTURE NUMBER
- PROPOSED DRAINAGE FLOW ARROW
- EXISTING ELEVATION
- FDOT TYPE "D" CURB, INDEX #300
- PROPERTY LINE
- EXISTING ROAD RIGHT OF WAY
- EXIST. FEATURES (E.O.P., SIDEWALK, DRIVES, ETC.)
- U-EAS
- EXISTING UTILITY EASEMENT
- EXISTING LOT LINES
- EXISTING ROAD CENTERLINE
- PROPOSED SWALE

WATER QUALITY (DRY DETENTION):

FIRST 1" OF RUNOFF	0.417 AC-FT
2.5" x % IMPERVIOUS	3.403 AC-FT
IMPERVIOUS WQ AC	2.186 AC-FT
INCHES TO BE TREATED	1.61 IN
AC-FT TO BE TREATED	0.608 AC-FT
REQUIRED QUALITY TREATMENT	0.456 AC-FT
ACTUAL WATER QUALITY PROVIDED	2.78 AC-FT
W.Q. REQ. WITH ADDITIONAL 50%	0.684 AC-FT

CALL BEFORE YOU DIG:

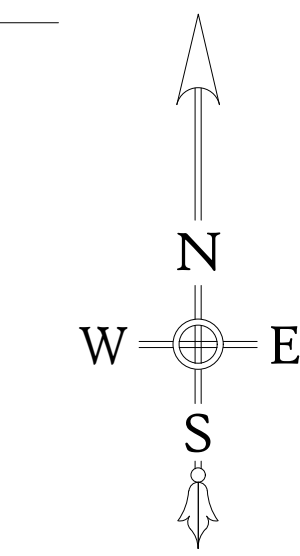
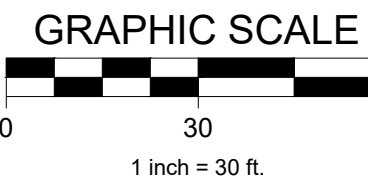
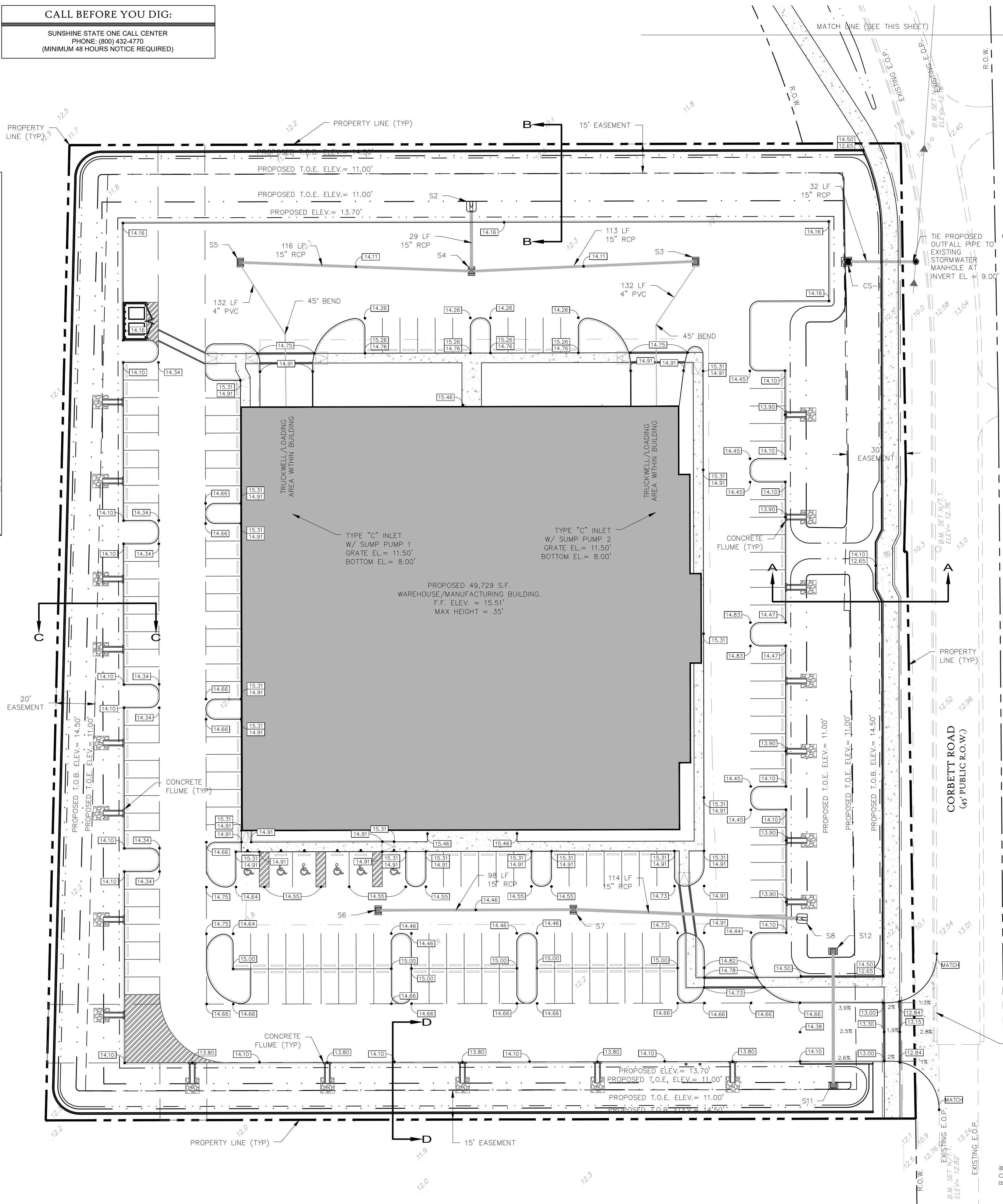
SUNSHINE STATE ONE CALL CENTER
PHONE: (800) 432-4770
(MINIMUM 48 HOURS NOTICE REQUIRED)



STRUCTURE TABLE:

INLET #	STRUCTURE TYPE	RIM	INV
S1	M.E.S.	N/A	10.5
S2	M.E.S.	N/A	11
S3	TYPE "C"	13.3	11
S4	TYPE "C"	13.3	11
S5	TYPE "C"	13.3	11
S6	TYPE "C"	14.1	12
S7	TYPE "C"	14.1	12.6
S8	M.E.S.	N/A	11
S9	TYPE "C"	10.5	8.4
S10	TYPE "C"	10.5	8.4
S11	TYPE "C"	11	8.9
S12	TYPE "C"	11	8.9

DESIGN SUMMARY	
Corbett Road	
WATER QUALITY	
Total Site Area (ac)	5.00
Drainage Basin area (ac)	5.00
Control Elevation (ft-NAVD)	10.00
Control Structure	CS #1 Grate = 14.40 ft-NAVD Bleeder = 3" Circular @ 10.00 ft-NAVD
5 Year 1 Day Storm	
Rainfall (in)	5.50
Peak Stage (ft-NAVD)	13.04
In. Road/Parking Crown Elev. (ft-NAVD)	14.10
25 Year 3 Day Storm	
Rainfall (in)	11.00
Allowable Discharge* (cfs)	0.30
Design Discharge (cfs)	0.49
Peak Stage (ft-NAVD)	14.38
Min. Berm Elev. (ft-NAVD)	14.50
100 Year 3 Day Storm	
Rainfall (in)	14.00
FEMA Elevation (ft-NAVD)	NO FLOOD HAZARD ZONE
Peak Stage (ft-NAVD)	15.18
Min. Finished Floor Elev. (ft-NAVD)	15.51



DATE	REVISION DESCRIPTION
04/02/23	REVISION 1: SEE CORRECTION
02/02/24	Revised Per CCC Review

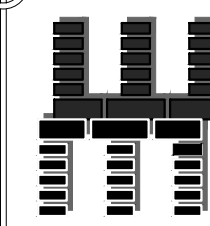
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JASON P. WHITE
FLA. REG. P.E. #70920

DATE: 02/02/24

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Exceptional Engineering, Inc.
P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
Jason.W@exceptionaleng.com
Business Cert # 25968



Date : 02-21-24
Scale : 1" = 30'
Design: J.P.W.
CAD : J.R.B.
Check : J.P.W.
File : 20-72-C003a

GRADING & DRAINAGE PLAN
1813 CORBETT ROAD
CAPE CORAL, FLORIDA

CC HOME BUILDERS, LLC.
1813 CORBETT ROAD, CAPE CORAL, FLORIDA 33909

SHEET #
C-4
JOB # 20-72
FOR REVIEW ONLY

SITE INFORMATION:

STRAP NOS.: 33-43-24-C1-00001.002A
ADDRESS: 1813 CORBETT ROAD
CAPE CORAL, FLORIDA 33902
ZONED: I (INDUSTRIAL)
LANDUSE: INDUSTRIAL
EXISTING LAND USE: VACANT INDUSTRIAL
SOILS: #50 - OLDSMAR FINE SAND, LIMESTONE SUBSTRATUM
#12 - FELDA FINE SAND

GENERAL CITY OF CAPE CORAL UTILITY NOTES:

- THE CONTRACTOR OR OWNERS REPRESENTATIVE WILL BE RESPONSIBLE FOR OBTAINING AN APPROPRIATE SIZED TEMPORARY JUMPER ASSEMBLY WITH METER FROM THE CITY OF CAPE CORAL UTILITIES COLLECTION AND DISTRIBUTION DEPARTMENT AT 574-0852 PRIOR TO RECEIVING CITY WATER FOR CONSTRUCTION AND/OR TYING INTO ANY EXISTING POTABLE WATER MAIN LINES. A BILLING ACCOUNT MUST BE SET UP THROUGH THE CITY'S CUSTOMER BILLING DEPARTMENT PRIOR TO INSTALLATION. A REPRESENTATIVE FROM THE CITY OF CAPE CORAL'S SITE DEVELOPMENT AND REVIEW DIVISION AT 242-3244 MUST BE NOTIFIED 48 HOURS IN ADVANCE OF MUST BE INSTALLATION AND BE PRESENT TO WITNESS AND RECORD THE INSTALLATION PROCESS. ACCOUNT DOCUMENTATION MUST BE SUBMITTED TO THE SITE DEVELOPMENT AND REVIEW INSPECTOR AT THE TIME OF METER INSTALLATION. AFTER CONSTRUCTION IS COMPLETE AND BEFORE THE TEMPORARY JUMPER AND METER IS REMOVED ALL POTABLE WATER MAINS SHALL BE FLUSHED AND PRESSURE TESTED PER AWWA SECTION C600 AND DISINFECTED PER AWWA C-651.
- ANY WORK OR MATERIALS WHICH DO NOT CONFORM TO THE CITY OF CAPE CORAL'S SPECIFICATIONS OR ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY OF CAPE CORAL UTILITY INSPECTORS OR REPRESENTATIVES IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO TO DEWATER TRENCH AND SECURE EXCAVATIONS. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS ASSOCIATED WITH THE CITY OF CAPE CORALS UTILITY DESIGN PROCEDURES MANUAL TECHNICAL SPECIFICATIONS SECTION 02140. ALL DEWATERING SHALL COMPLY WITH THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND ANY AGENCY WITH JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE CITY OF CAPE CORAL'S UTILITIES COLLECTION/DISTRIBUTION DIVISION AT 574-0852 A MINIMUM OF 7 DAYS PRIOR TO ANY SHUTDOWN OR DIVERSION OF AN EXISTING WATER MAIN. A 48 HOUR NOTICE IS REQUIRED FOR A PRESSURE TEST, HOT TAP, OR TIE IN TO EXISTING UTILITY MAIN, AND PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION. ALSO THE CONTRACTOR WILL DISTRIBUTE ANY INTERRUPTION OF SERVICES NOTICES TO ALL AFFECTED PARTIES AND THE CITY WILL DISTRIBUTE ALL BOIL WATER AND RECISSION NOTICES.
- THE CONTRACTOR IS PROHIBITED FROM TURNING OFF ANY EXISTING MAIN LINE VALVES. THESE WILL BE TURNED OFF BY A REPRESENTATIVE OF THE CITY OF CAPE CORAL'S UTILITY DEPARTMENT AT THE CONTRACTORS ARRANGED TIME AND DATE.
- ALL EXISTING UTILITY SERVICE CONNECTIONS THAT WILL NOT BE UTILIZED FOR THIS PROJECT SHALL BE ABANDONED AT THE MAIN OR POINT AGREED UPON BY THE UTILITY INSPECTOR. PER CITY OF CAPE CORAL SPECIFICATIONS. WATER AND IRRIGATION SERVICES MUST BE ABANDONED AT THE MAIN. SEWER LATERALS MUST BE CAPPED AT THE ROW WITH AN APPROVED LOCATOR INSTALLED. A VISUAL INSPECTION MUST BE COMPLETED BY A CITY OF CAPE CORAL UTILITIES INSPECTOR.
- ALL FIRE LINES AND PRIVATE HYDRANTS WILL REQUIRE THE INSTALLATION OF AN APPROVED DDCV ASSEMBLY INSTALLED AS CLOSE TO THE ROW AS POSSIBLE WITHIN THE P.U.E. A FIRE HYDRANT RESPONSIBILITY AGREEMENT WILL BE REQUIRED FOR ALL PRIVATE FIRE HYDRANTS. ALL ABOVE GROUND ASSEMBLIES, PIPES, AND FITTINGS MUST BE PAINTED PER CITY OF CAPE CORAL TECHNICAL SPECIFICATIONS PROTECTIVE COATINGS SECTION 09800.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION AND BE RESPONSIBLE FOR PROTECTION OF ON-SITE UTILITIES INCLUDING ANY LATERALS DURING CONSTRUCTION. ANY UTILITIES THAT ARE DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE USING CITY APPROVED MATERIALS AND MUST BE REPORTED TO THE CITY OF CAPE CORAL UTILITIES COLLECTION/DISTRIBUTION DEPARTMENT 574-0852. ALL REPAIRS MUST BE INSPECTED BY A CITY UTILITIES INSPECTOR PRIOR TO BACKFILL AND RESTORATION. IF THE CONTRACTOR IS UNABLE TO MAKE THE NECESSARY REPAIRS, THE CONTRACTOR WILL BE HELD LIABLE FOR COSTS ASSOCIATED WITH REPAIRS BY THE CITY PERSONNEL.
- THE CONTRACTOR SHALL ADJUST (AS REQUIRED) PIPELINE ALIGNMENTS HORIZONTALLY/ AND/OR VERTICALLY TO AVOID CONFLICTS WITH ACTUAL FIELD CONDITIONS AS UNCOVERED DURING CONSTRUCTION. HORIZONTAL AND VERTICAL SEPERATION SHALL CONFORM TO THE CITY OF CAPE CORAL DESIGN PROCEDURES MANUAL SECTIONS 1.5.1 AND 1.5.2.
- IF ANY UTILITY WORK (WATER, SEWER, IRRIGATION) IS PERFORMED AFTER HOURS (SCHEDULED OR UNSCHEDULED) AND THE UTILITY WORK REQUIRES THE PRESENCE OF A CITY OF CAPE CORAL UTILITY INSPECTOR THE SUBJECT OVERTIME WILL BE REQUIRED TO BE PAID FOR BY THE CONTRACTOR. A BILL WILL BE CREATED AND ATTACHED TO THE APPROPRIATE PERMIT AND PAYMENT WILL BE REQUIRED BEFORE THE WATER FINAL INSPECTION IS COMPLETED.
- ALL UTILITY MAIN EXTENSIONS AND UTILITY MAIN REPLACEMENTS ARE REQUIRED TO BE A MINIMUM 6" MAIN. ALL SERVICE LATERALS 3" AND LARGER WILL REQUIRE A MINIMUM 6" TAP WITH 6" GATE VALVE AT THE CONNECTION POINT TO THE UTILITY MAIN WITH THE EXCEPTION OF TAPS ON MAINS SMALLER THAN 6".
- THE ENGINEERS ESTIMATED FLOW DEMANDS FOR POTABLE WATER, IRRIGATION WATER AND SANITARY SEWER MUST BE PROVIDED ON THE UTILITY PAGE OF THE SITE PLANS.
- THE CONTRACTOR WILL NEED TO ADJUST THE EXISTING UTILITIES AFFECTED BY THE NEWLY PROPOSED FINISHED GRADE AT THEIR EXPENSE. THESE ITEMS INCLUDE BUT NOT LIMITED TO: VALVE BOXES, VALVE PADS, VALVE STEM EXTENSIONS, SERVICE CONNECTIONS AND ACCESSORIES, BACKFLOW PREVENTION DEVICES, METER BOXES, FIRE HYDRANTS, MANHOLE COVERS, AND/OR ADJUSTMENT RINGS. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY THAT ADEQUATE DEPTHS AND CLEARANCES EXIST TO MAKE THE SYSTEM HYDRAULICS WORK PROPERLY. ANY CHANGES TO EXISTING UTILITIES MUST MEET THE CITY OF CAPE CORAL SPECIFICATIONS. DISINFECTION AND RE-SAMPLING WILL BE REQUIRED WHEN ANY EXISTING POTABLE WATER MAIN OR SERVICE IS DISTURBED AND IS THE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
- THE STANDARD MINIMUM COVER FOR A WATER, IRRIGATION OR FORCE MAIN, WHICH IS NOT UNDER PAVEMENT, IS 30" BELOW FINISHED GRADE, OR 42" BELOW THE EDGE OF PAVEMENT. THE MINIMUM COVER FOR WATER MAINS PLACED UNDER PAVEMENT IS 36". PLEASE DEFER TO THE UTILITY DESIGN PROCEDURES MANUAL SECTION 4.1.5.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES ON SITE. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR HAS SOLE RESPONSIBILITY TO LOCATE AND PROTECT UNDERGROUND UTILITIES IN THE PROJECT AREA. THE CONTRACTOR SHALL HAVE ALL UTILITIES IDENTIFIED AND MARKED PRIOR TO BEGINNING CONSTRUCTION.
- "IN ACCORDANCE WITH THE CITY LAND DEVELOPMENT CODE SECTION 5.1.6, PROTECTION OF EASEMENTS (FKA LUDR SECTION 3.14), ANY IMPROVEMENTS/PERMITTED TO BE INSTALLED IN ANY EASEMENT ON THE PROPERTY ARE SUBJECT TO REMOVAL, REPLACEMENT AND RESTORATION BY THE LANDOWNER SHOULD A UTILITY REQUIRE ACCESS TO THE SUBJECT EASEMENT FOR ANY PURPOSE. THE CITY WILL PROVIDE OWNER WITH ADVANCE NOTICE IF THE CITY REQUIRES ACCESS TO THE SUBJECT EASEMENTS FOR INSTALLATION OR MAINTENANCE PURPOSES EXCEPT IN EMERGENCY SITUATIONS."
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE COPY TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION. ACCEPTANCE OF THE COMPLETED UTILITY SYSTEM WILL NOT BE GIVEN FINAL APPROVAL BY THE UTILITIES DEPARTMENT UNTIL AS-BUILT PLANS HAVE BEEN SUBMITTED AND APPROVED BY THE ENGINEER OF RECORD.
- ALL BACKFLOW CERTIFICATIONS MUST BE EMAILED TO UCDINS@CAPECORAL.NET AND TO THE ASSIGNED UTILITY INSPECTOR.

FIRE PROTECTION NOTES:

- 2018 NFPA 1: 11.10, TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEMS SHALL COMPLY AT THE CONCLUSION OF CONSTRUCTION (NFPA 72-24.5.2). PLEASE BE AWARE THAT A DIRECTIVE FROM THE FIRE MARSHAL IS IN EFFECT FOR ALL NEW BUILDINGS. THE FIRE MARSHAL HAS REQUIRED THAT A THIRD PARTY WILL VERIFY BEFORE (AT BUILDING PLAN REVIEW) AND AFTER (PRIOR TO FIRE FINAL INSPECTION) CONSTRUCTION THAT THE BUILDING MEETS THE REQUIREMENTS OF NFPA 72 FOR RADIO SIGNAL STRENGTH. IF THE BUILDING IS NON-COMPLIANT, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE TO MEET THE CODE REQUIREMENTS PRIOR TO THE FIRE FINAL INSPECTION.
- FLORIDA STATUTE 633 UNDERGROUND SPRINKLER FROM POS (POINT OF SERVICE) FOR SPRINKLER SYSTEM - SEE THE FIRE PROTECTION DOCUMENTS BY THE ENGINEER OF RECORD DESIGNING THE SPRINKLER.
- BUILDING REQUIRES 4,750 GPM. THE BUILDING IS SPRINKLED THUS REDUCING IT BY 75% MAKING REQUIRED FLOW 1,188 GPM. THERE ARE 2 FIRE HYDRANTS WITHIN 250' OF THE BUILDING AND EACH HYDRANT PROVIDES 1,500 GPM PER NFPA TABLE 18.4.5.2.1. PROPOSED BUILDING IS TYPE III B CONSTRUCTION.

CALL BEFORE YOU DIG:

SUNSHINE STATE ONE CALL CENTER
PHONE: (800) 432-4770
(MINIMUM 48 HOURS NOTICE REQUIRED)

UTILITIES PROVIDING SERVICE:

ELECTRIC: LCEC
P.O. BOX 31477
NORTH FORT MYERS, FLORIDA 33918
PHONE (239) 656-2300

FIRE CONTROL DISTRICT: CAPE CORAL FIRE DEPARTMENT
P.O. BOX 150027
CAPE CORAL, FLORIDA 33915
PHONE (239) 574-0501

GARBAGE COLLECTION: WASTE PRO OF FLORIDA, INC.
13110 ROCKENBAKER PKWY.
FORT MYERS, FLORIDA 33913
PHONE (239) 337-0800

POTABLE WATER: CAPE CORAL UTILITIES
1015 CULTURAL PARK BLVD.
CAPE CORAL, FL. 33990
(239) 242-3853

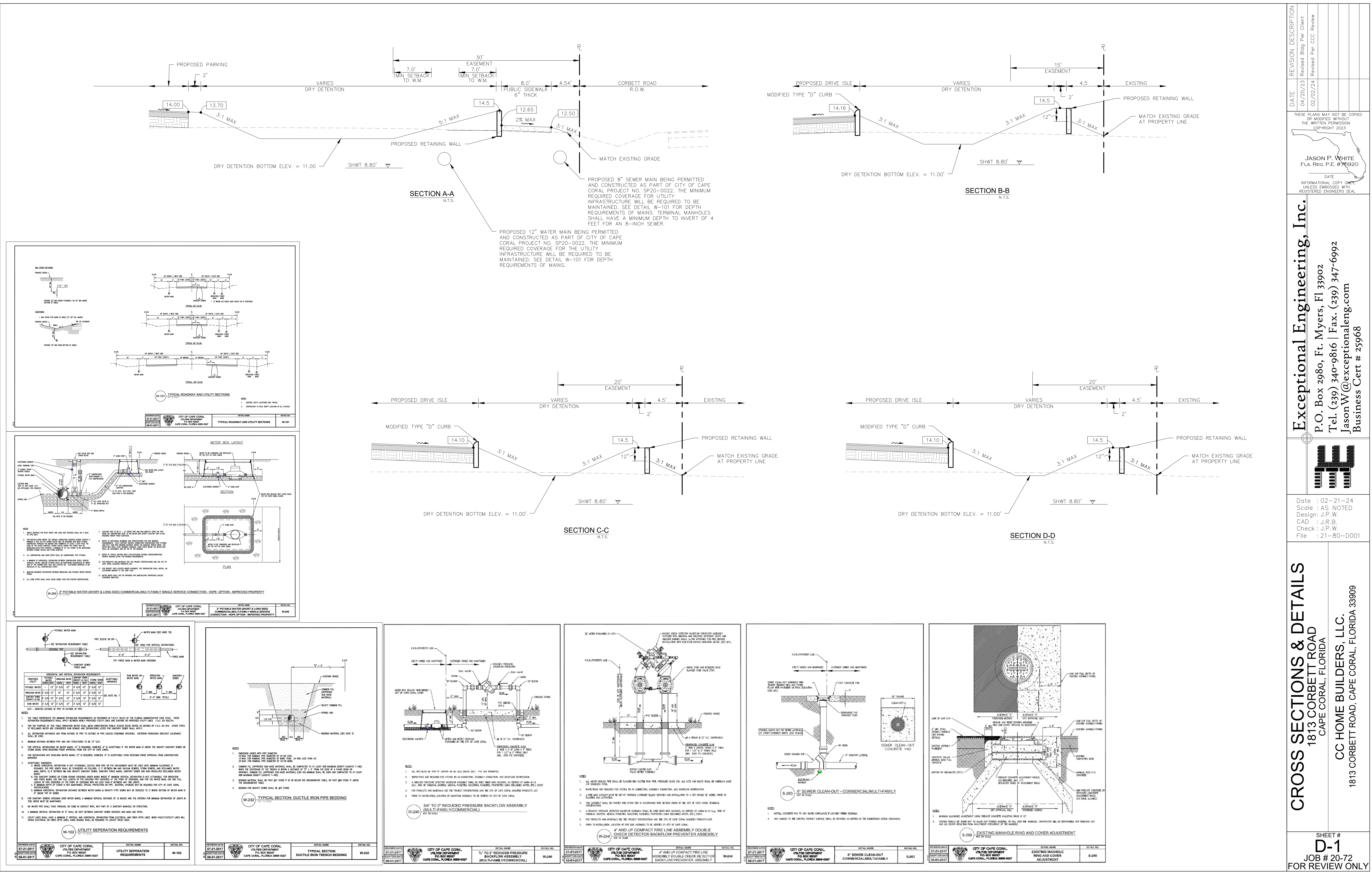
SANITARY SEWER: CAPE CORAL UTILITIES
1015 CULTURAL PARK BLVD.
CAPE CORAL, FL. 33990
(239) 242-3853

TELEPHONE: SPRINT-FLORIDA, INC.
P.O. BOX 370
FORT MYERS, FLORIDA 33902
PHONE (239) 336-2008

CABLE: COMCAST
301 TOWER ROAD
NAPLES, FLORIDA 34113
PHONE (239) 280-4319

Table 18.4.5.2.1 Minimum Required Fire Flow and Flow Duration for Buildings									
Fire Flow Area (ft ² x 10,000 for ft ²)									
Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)	Building Area (ft ²)
0-2,500	2,501-5,000	5,001-7,500	7,501-10,000	10,001-12,500	12,501-15,000	15,001-17,500	17,501-20,000	20,001-22,500	22,501-25,000
2,500	5,000	7,500	10,000	12,500	15,000	17,500	20,000	22,500	25,000
25,001-30,000	30,001-35,000	35,001-40,000	40,001-45,000	45,001-50,000	50,001-55,000	55,001-60,000	60,001-65,000	65,001-70,000	70,001-75,000
30,000	35,000	40,000	45,000	50,000	55,000	60,000	65,000	70,000	75,000
75,001-80,000	80,001-85,000	85,001-90,000	90,001-95,000	95,001-100,000	100,001-105,000	105,001-110,000	110,001-115,000	115,001-120,000	120,001-125,000
80,000	85,000	90,000	95,000	100,000	105,000	110,000	115,000	120,000	125,000
125,001-130,000	130,001-135,000	135,001-140,000	140,001-145,000	145,001-150,000	150,001-155,000	155,001-160,000	160,001-165,000	165,001-170,000	170,001-175,000
130,000	135,000	140,000	145,000	150,000	155,000	160,000	165,000	170,000	175,000
175,001-180,000	180,001-185,000	185,001-190,000	190,001-195,000	195,001-200,000	200,001-205,000	205,001-210,000	210,001-215,000	215,001-220,000	220,001-225,000
180,000	185,000	190,000	195,000	200,000	205,000	210,000	215,000	220,000	225,000
225,001-230,000	230,001-235,000	235,001-240,000	240,001-245,000	245,001-250,000	250,001-255,000	255,001-260,000	260,001-265,000	265,001-270,000	270,001-275,000
230,000	235,000	240,000	245,000	250,000	255,000	260,000	265,000	270,000	275,000
275,001-280,000	280,001-285,000	285,001-290,000	290,001-295,000	295,001-300,000	300,001-305,000	305,001-310,000	310,001-315,000	315,001-320,000	320,001-325,000
280,000	285,000	290,000	295,000	300,000	305,000	310,000	315,000	320,000	325,000
325,001-330,000	330,001-335,000	335,001-340,000	340,001-345,000	345,001-350,000	350,001-355,000	355,001-360,000	360,001-365,000	365,001-370,000	370,001-375,000
330,000	335,000	340,000	345,000	350,000	355,000	360,000	365,000	370,000	375,000
375,001-380,000	380,001-385,000	385,001-390,000	390,001-395,000	395,001-400,000	400,001-405,000	405,001-410,000	410,001-415,000	415,001-420,000	420,001-425,000
380,000	385,000	390,000	395,000	400,000	405,000	410,000	415,000	420,000	425,000
425,001-430,000	430,001-435,000	435,001-440,000	440,001-445,000	445,001-450,000	450,001-455,000	455,001-460,000	460,001-465,000	465,001-470,000	470,001-475,000
430,000	435,000	440,000	445,000	450,000	455,000	460,000	465,000	470,000	475,000
475,001-480,000	480,001-485,000	485,001-490,000	490,001-495,000	495,001-500,000	500,001-505,000	505,001-510,000	510,001-515,000	515,001-520,000	520,001-525,000
480,000	485,000	490,000	495,000	500,000	505,000	510,000	515,000	520,000	525,000
525,001-530,000	530,001-535,000	535,001-540,000	540,001-545,000	545,001-550,000	550,001-555,000	555,001-560,000	560,001-565,000	565,001-570,000	570,001-575,000
530,000	535,000	540,000	545,000	550,000	555,000	560,000	565,000	570,000	575,000
575,001-580,000	580,001-585,000	585,001-590,000	590,001-595,000	595,001-600,000	600,001-605,000	605,001-610,000	610,001-615,000	615,001-620,000	620,001-625,000
580,000	585,000	590,000	595,000	600,000	605,000	610,000	615,000	620,000	625,000
625,001-630,000	630,001-635,000	635,001-640,000	640,001-645,000	645,001-650,000	650,001-655,000	655,001-660,000	660,001-665,000	665,001-670,000	670,001-675,000
630,000	635,000	640,000	645,000	650,000	655,000	660,000	665,000	670,000	675,000
675,001-680,000	680,001-685,000	685,001-690,000	690,001-695,000	695,001-700,000	700,001-705,000	705,001-710,000	710,001-715,000	715,001-720,000	720,001-725,000
680,000	685,000	690,000	695,000	700,000	705,000	710,000	715,000	720,000	725,000
725,001-730,000	730,001-735,000	735,001-740,000	740,001-745,000	745,001-750,000	750,001-755,000	755,001-760,000	760,001-765,000	765,001-770,000	770,001-775,000
730,000	735,000	740,000	745,000	750,000	755,000	760,000	765,000	770,000	775,000
775,001-780,000	780,001-785,000	785,001-790,000	790,001-795,000	795,001-800,000	800,001-805,000	805,001-810,000	810,001-815,000	815,001-820,000	820,001-825,000
780,000	785,000	790,000	795,000	800,000	805,000	810,000	815,000	820,000	825,000
825,001-830,000	830,001-835,000	835,001-840,000	840,001-845,000	845,001-850,000	850,001-855,000	855,001-860,000	860,001-865,000	865,001-870,000	870,001-875,000
830,000	835,000	840,000	845,000	850,000	855,000	860,000	865,000	870,000	875,000
875,001-880,000	880,001-885,000	885,001-890,000	890,001-895,000	895,001-900,000	900,001-905,000	905,001-910,000	910,001-915,000	915,001-920,000	920,001-925,000
880,000	885,000	890,000	895,000	900,000	905,000	910,000	915,000	920,000	925,000
925,001-930,000	930,001-935,000	935,001-940,000	940,001-945,000	945,001-950,000	950,001-955,000	955,001-960,000	960,001-965,000	965,001-970,000	970,001-975,000
930,000	935,000	940,000	945,000	950,000	955,000	960,000	965,000	970,000	975,000
975,001-980,000	980,001-985,000	985,001-990,000	990,001-995,000	995,001-1,000,000	1,000,001-1,005,000	1,005,001-1,010,000	1,010,001-1,015,000	1,015,001-1,020,000	1,020,001-1,025,000
980,000	985,000	990,000	995,000	1,000,000	1,005,000	1,010,000	1,015,000	1,020,000	1,025,000
1,025,001-1,030,000	1,030,001-1,035,000	1,035,001-1,040,000	1,040,001-1,045,000	1,045,001-1,050,000	1,050,001-1,055,000	1,055,001-1,060,000	1,060,001-1,065,000	1,065,001-1,070,000	1,070,001-1,075,000
1,030,000	1,035,000	1,040,000	1,045,000	1,050,000	1,055,000	1,060,000	1,065,000	1,070,000	1,075,000
1,075,001-1,080,000	1,080,001-1,085,000	1,085,001-1,090,000	1,090,001-1,095,000	1,095,001-1,100,000	1,100,001-1,105,000	1,105,001-1,110,000	1,110,001-1,115,000	1,115,001-1,120,000	1,120,001-1,125,000
1,080,000	1,085,000	1,090,000	1,095,000	1,100,000	1,105,000	1,110,000	1,115,000	1,120,000	1,125,000
1,125,001-1,130,000	1,130,001-1,135,000	1,135,001-1,140,000	1,140,001-1,145,000	1,145,001-1,150,000	1,150,001-1,155,000	1,155,001-1,160,000	1,160,001-1,165,000	1,165,001-1,170,000	1,170,001-1,175,000
1,130,000	1,135,000	1,140,000	1,145,000	1,150,000	1,155,000	1,160,000	1,165,000	1,170,000	1,175,000
1,175,001-1,180,000	1,180,001-1,185,000	1,185,001-1,190,000	1,190,001-1,195,000	1,195,001-1,200,000	1,200,001-1,205,000	1,205,001-1,210,000	1,210,001-1,215,000	1,215,001-1,220,000	1,220,001-1,225,000
1,180,000	1,185,000	1,190,000	1,195,000	1,200,000	1,205,000	1,210,000	1,215,000	1,220,000	1,225,000
1,225,001-1,230,000	1,230,001-1,235,000	1,235,001-1,240,000	1,240,001-1,245,000	1,245,001-1,250,000	1,250,001-1,255,000	1,255,001-1,260,000	1,260,001-1,265,000	1,265,001-1,270,000	1,270,001-1,275,000
1,230,000	1,235,000	1,240,000	1,245,000	1,250,000	1,255,000	1,260,000	1,265,000	1,270,000	1,275,000
1,275,001-1,280,000	1,280,001-1,285,000	1,285,001-1,290,000	1,290,001-1,295,000	1,295,001-1,300,000	1,300,001-1,305,000	1,305,001-1,310,000	1,310,001-1,315,000	1,315,001-1,320,000	1,320,001-1,325,000
1,280,000	1,285,000	1,290,000	1,295,000	1,300,000	1,305,000	1,310,000	1,315,000	1,320,000	1,325,000
1,325,001-1,330,000	1,330,001-1,335,000	1,335,001-1,340,000	1,340,001-1,345,000	1,345,001-1,350,000	1,350,001-1,355,000	1,355,001-1,360,000	1,360,001-1,365,000	1,365,001-1,370,000	1,370,001-1,375,000
1,330,000	1,335,000	1,340,000	1,345,000	1,350,000	1,355,000	1,360,000	1,365,000	1,370,000	1,375,000
1,375,001-1,380,000	1,380,001-1,385,000	1,385,001-1,390,000	1,390,001-1,395,000	1,395,001-1,400,000	1,400,001-1,405,000	1,405,001-1,410,000	1,410,001-1,415,000	1,415,001-1,420,000	1,420,001-1,425,000
1,380,000	1,385,000	1,390,000	1,395,000	1,400,000	1,405,000	1,410,000	1,415,000	1,420,000	1,425,000
1,425,001-1,430,000	1,430,001-1,435,000	1,435,001-1,440,000	1,440,001-1,445,000	1,445,001-1,450,000	1,450,001-1,455,000	1,455,001-1,460,000	1,460,001-1,465,000	1,465,001-1,470,000	1,470,001-1,475,000
1,430,000	1,435,000	1,440,000	1,445,000	1,450,000	1,455,000	1,460,000	1,465,000	1,470,000	1,475,000
1,475,001-1,480,000	1,480,001-1,485,000	1,485,001-1,490,000	1,490,001-1,495,000	1,495,001-1,500,000	1,500,001-1,505,000	1,505,001-1,510,000	1,510,001-1,515,000	1,515,001-1,520,000	1,520,001-1,525,000
1,480,000	1,485,000	1,490,000	1,495,000	1,500,000	1,505,000	1,510,000	1,515,000	1,520,000	1,525,000
1,525,001-1,530,000	1,530,001-1,535,000	1,535,001-1,540,000	1,540,001-1,545,000	1,545,001-1,550,000	1,550,001-1,555,000	1,555,001-1,560,000	1,560,001-1,565,000	1,565,001-1,570,000	1,570,001-1,575,000
1,530,000	1,535,000	1,540,000	1,545,000	1,550,000	1,555,000	1,560,000	1,565,000	1,570,000	1,575,000
1,575,001-1,580,000	1,580,001-1,585,000	1,585,001-1,590,000	1,590,001-1,595,000	1,595,001-1,600,000	1,600,001-1,605,000	1,605,001-1,610,000	1,610,001-1,615,000	1,615,001-1,620,000	1,620,001-1,625,000
1,580,000	1,585,000	1,590,000	1,595,000	1,600,000	1,605,000	1,610,000	1,615,000	1,620,000	1,625,000
1,625,001-1,630,000	1,630,001-1,635,000	1,635,001-1,640,000	1,640,001-1,645,000	1,645,001-1,650,000	1,650,001-1,655,000	1,655,001-1,660,000	1,660,001-1,665,000	1,665,001-1,670,000	1,670,001-1,675,000
1,630,000	1,635,000	1,640,000	1,645,000	1,650,000	1,655,000	1,660,000	1,665,000	1,670,000	1,675,000
1,675,001-1,680,000	1,680,001-1,685,000	1,685,001-1,690,000	1,690,001-1,695,000	1,695,001-1,700,000	1,700,001-1,705,000	1,705,001-1,710,000	1,710,001-1,715,000	1,715,001-1,720,000	1,720,001-1,725,000
1,680,000	1								

SHEET #
D-2
JOB # 20-72
FOR REVIEW ONLY



REVISION DESCRIPTION
DATE
04/20/23
Revised Bldg Per Client
02/02/24
Revised Per CCC Review

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JASON P. WHITE
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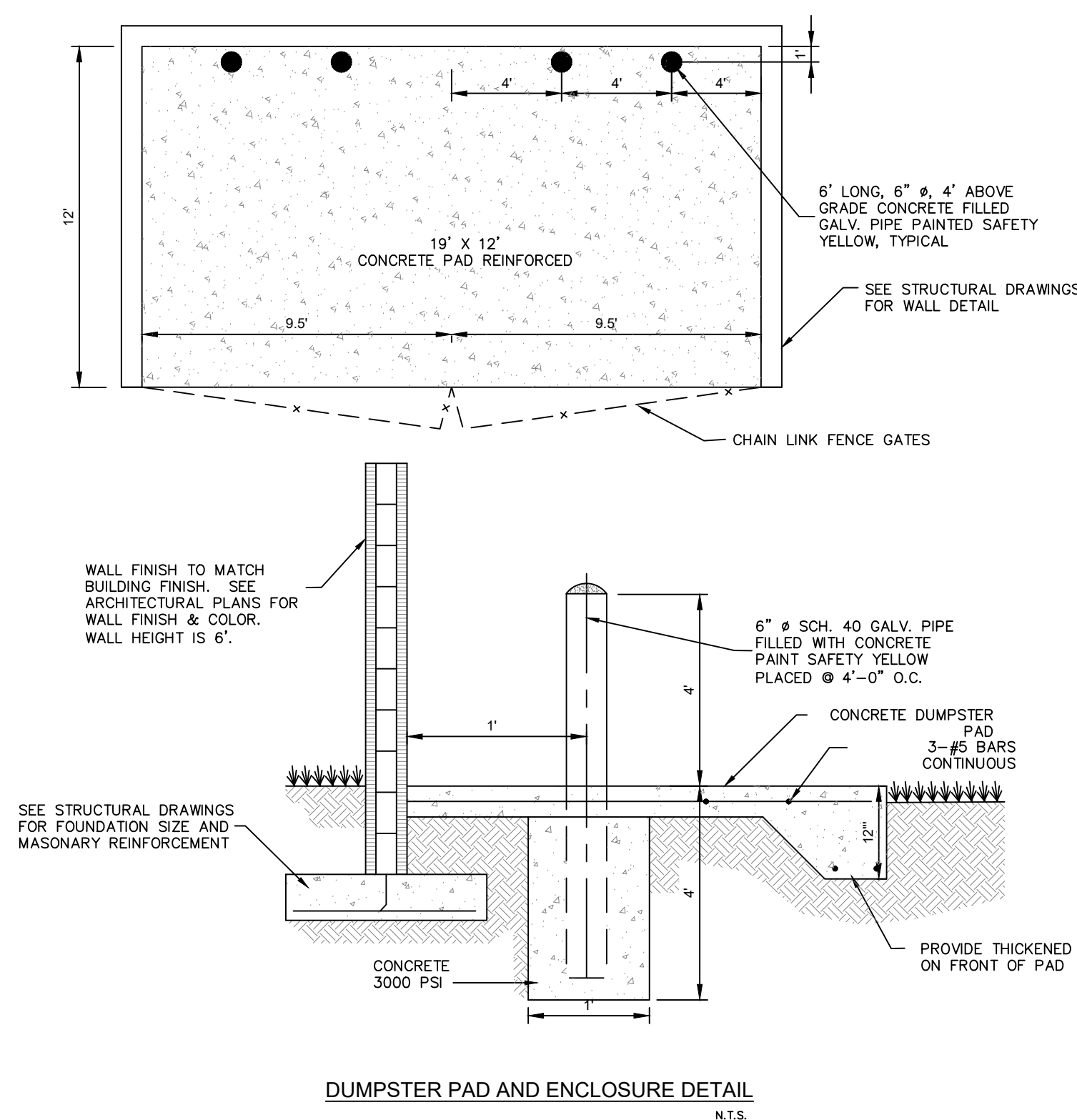
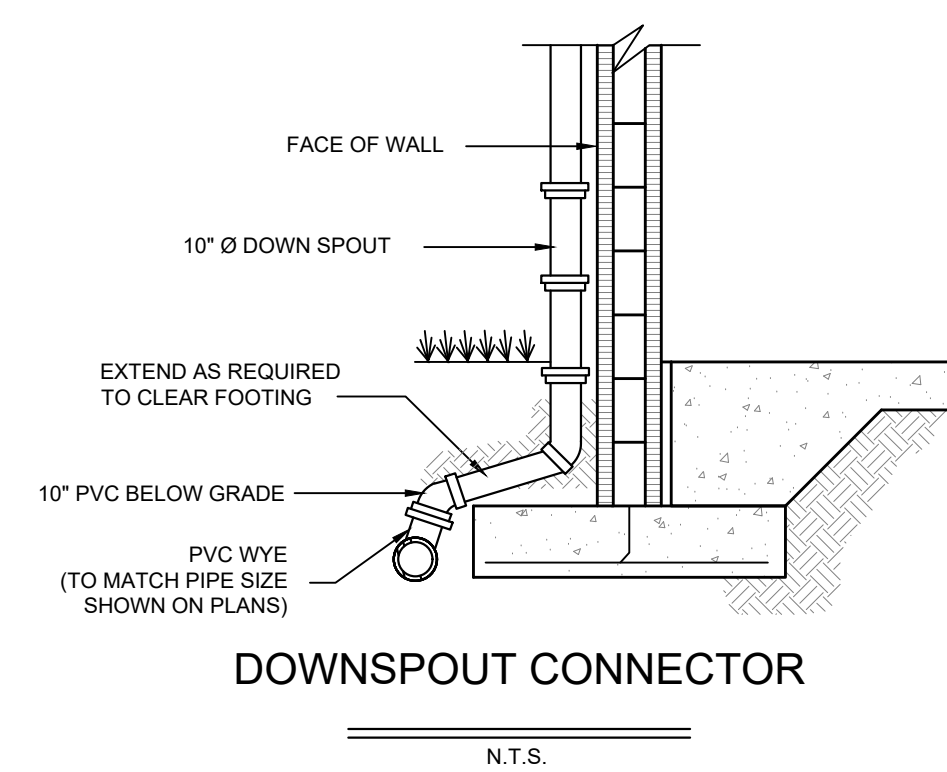
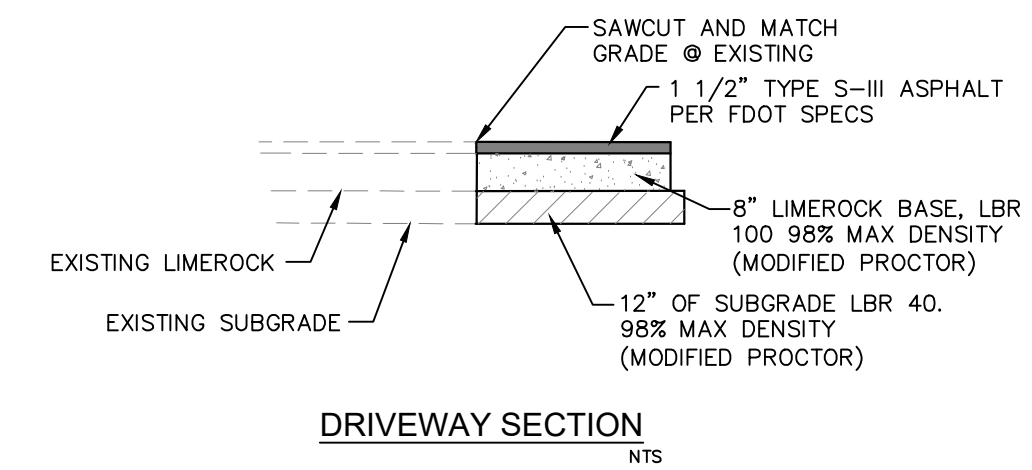
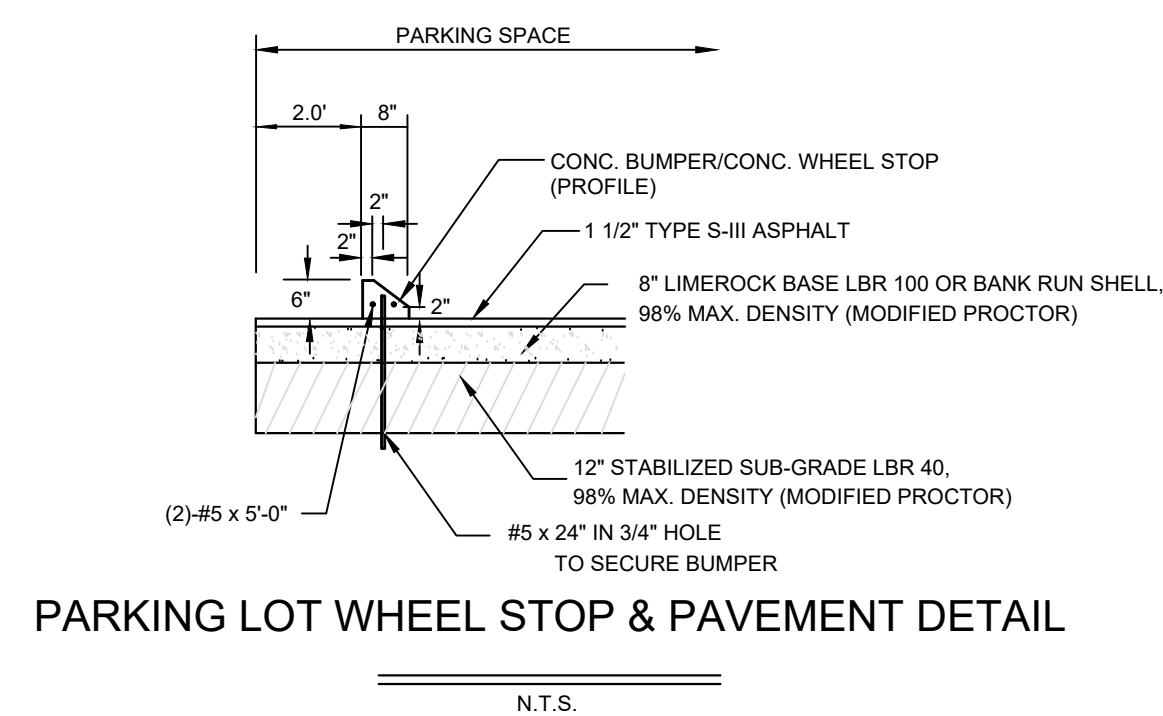
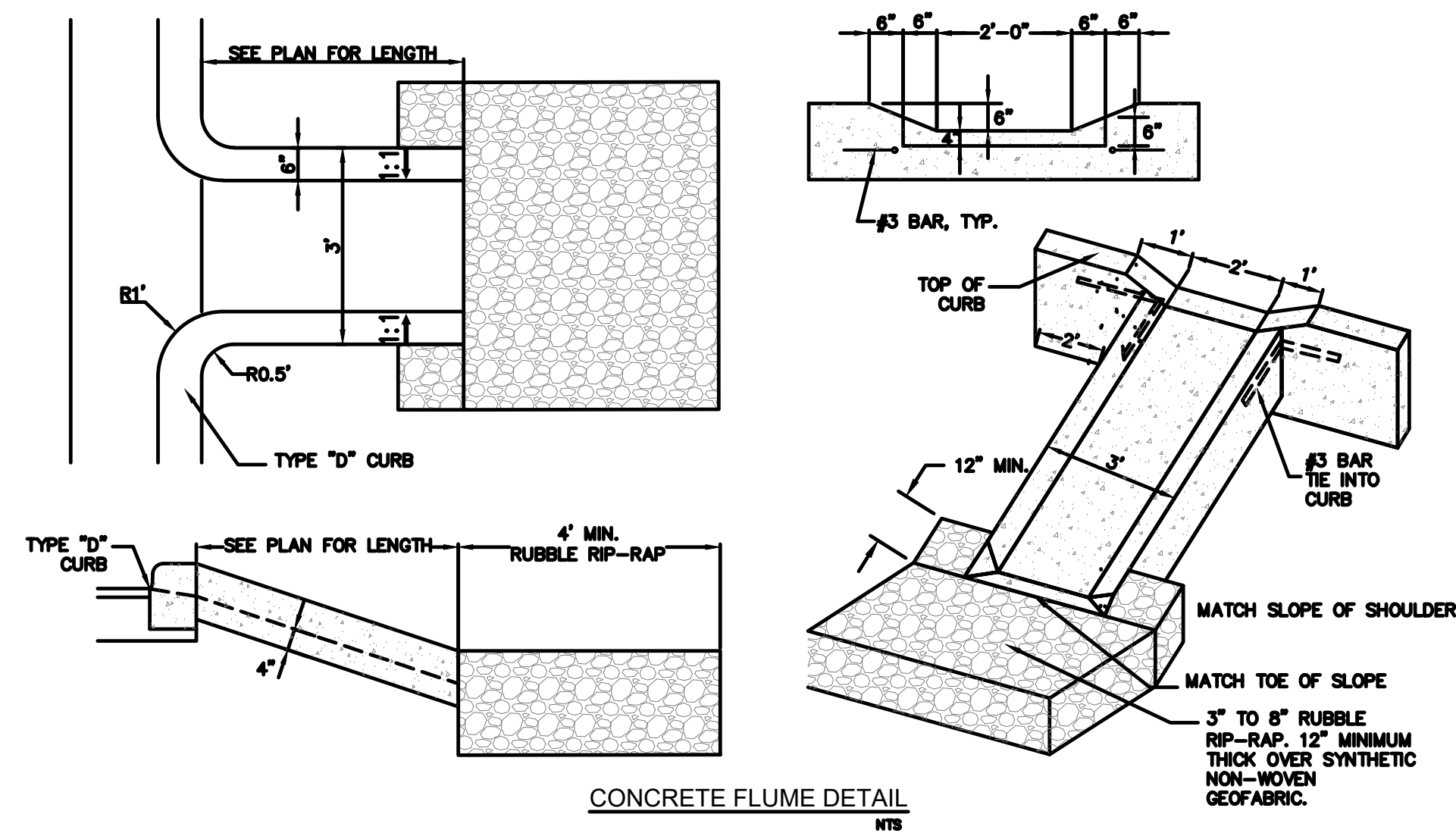
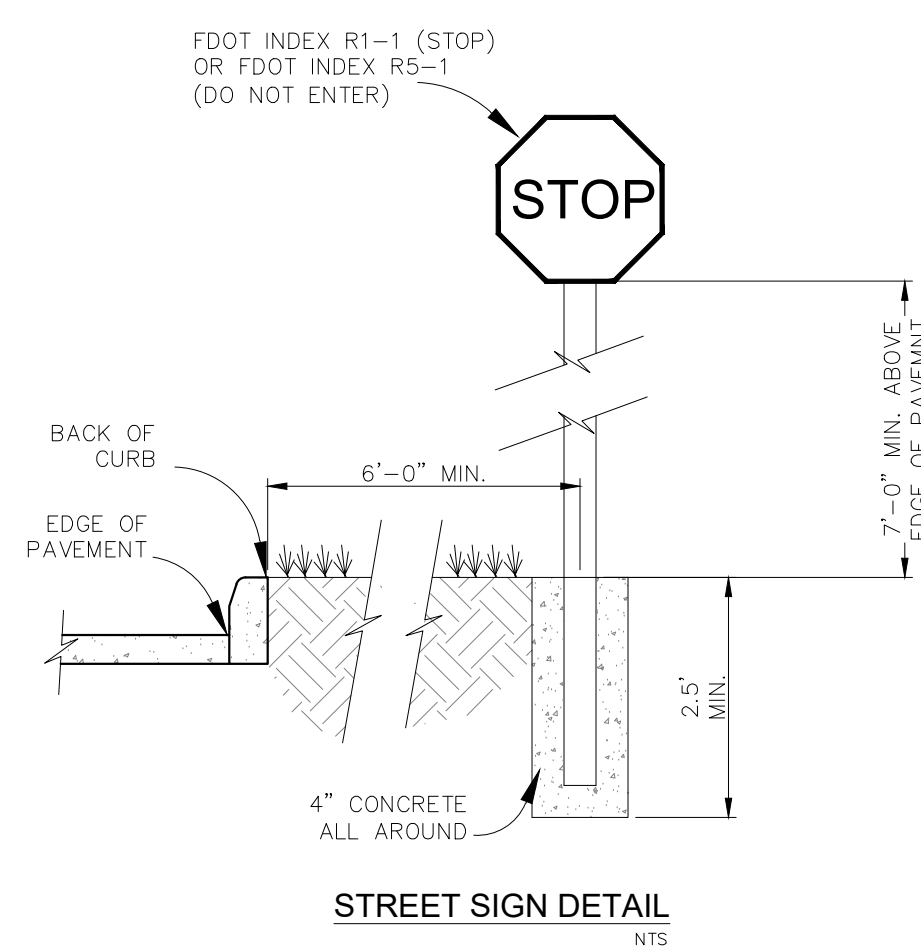
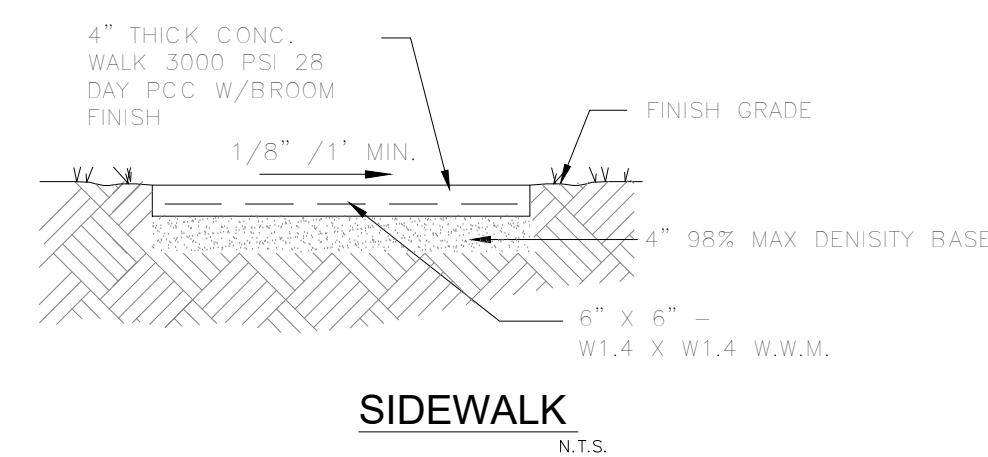
DATE
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Exceptional Engineering, Inc.
P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
Jason.W@exceptionaleng.com
Business Cert # 25968

Date : 02-21-24
Scale : AS NOTED
Design : J.P.W.
CAD : J.J.B.
Check : J.P.W.
File : 21-80-D001


CROSS SECTIONS & DETAILS
1813 CORBETT ROAD
CAPE CORAL, FLORIDA
CC HOME BUILDERS, LLC.
1813 CORBETT ROAD, CAPE CORAL, FLORIDA 33909

SHEET #
D-1
JOB # 20-72
FOR REVIEW ONLY



DATE	REVISION DESCRIPTION
04/20/23	Revised Bldg Per Client
02/02/24	Revised Per CCC Review

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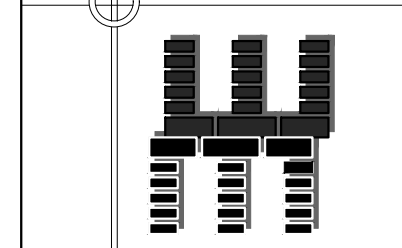


JASON P. WHITE
FLA. REG. P.E. #70920

DATE _____

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REGISTERED ENGINEERS SEAL

Exceptional Engineering, Inc.
P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
Jason W@exceptionaleng.com
Business Cert # 25968



Date : 02-21-24
Scale : AS NOTED
Design: J.P.W.
CAD : J.R.B.
Check : J.P.W.
File : 21-80-D001

GENERAL DETAILS
1813 CORBETT ROAD
CAPE CORAL, FLORIDA

CC HOME BUILDERS, LLC.
1813 CORBETT ROAD, CAPE CORAL, FLORIDA 33909





SHEET #
D-3
JOB # 20-72
FOR REVIEW ONLY

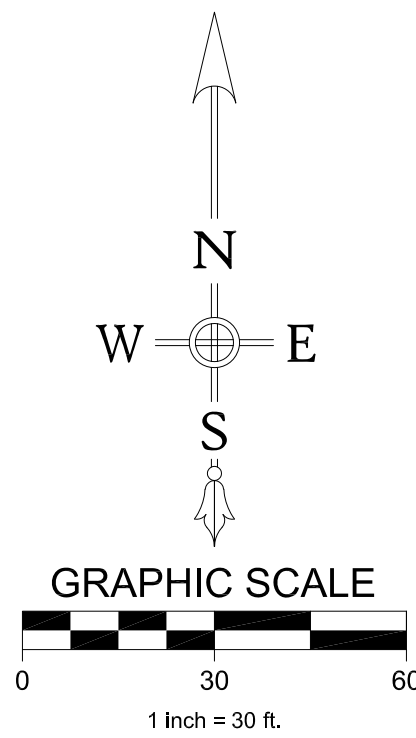
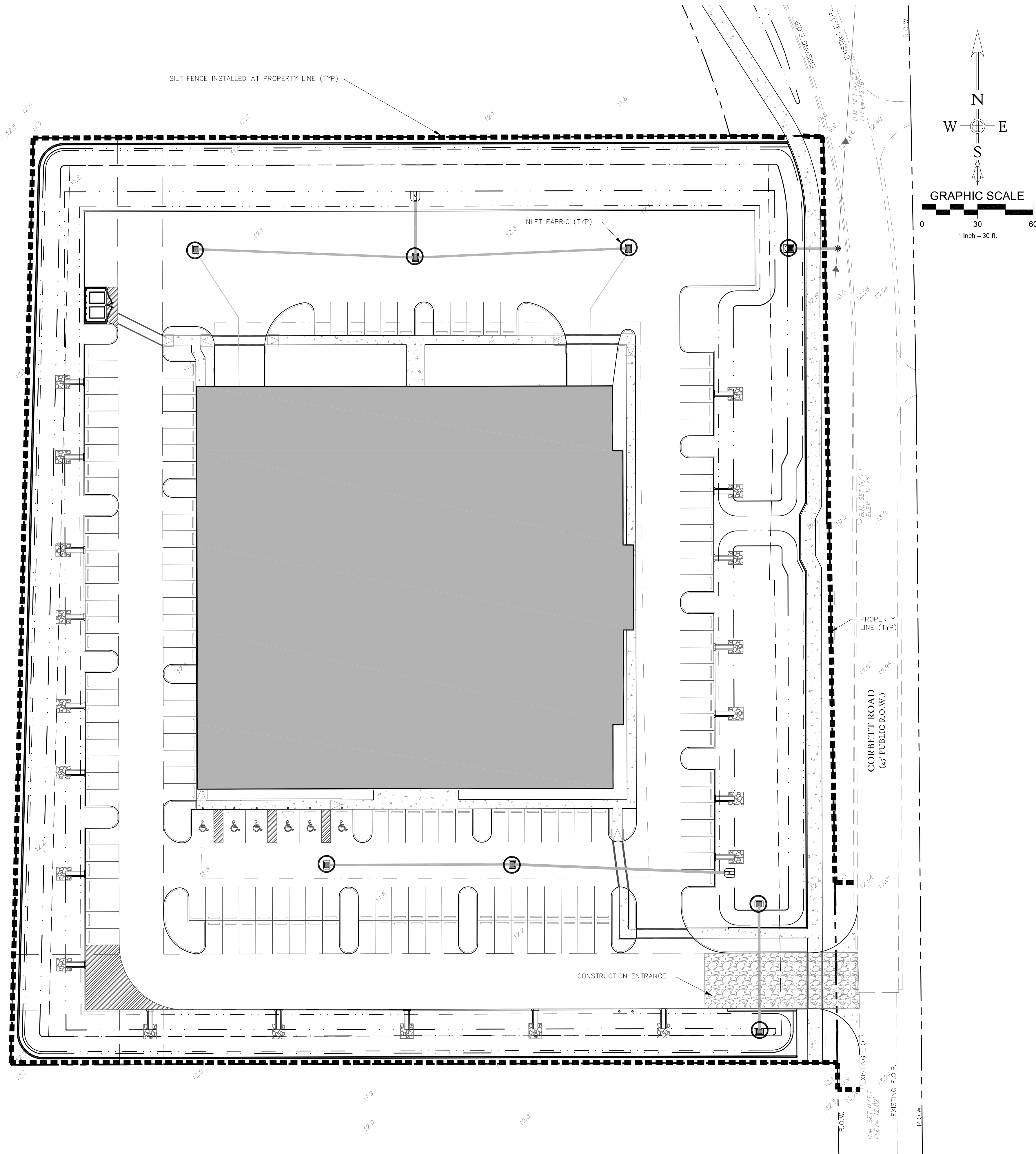
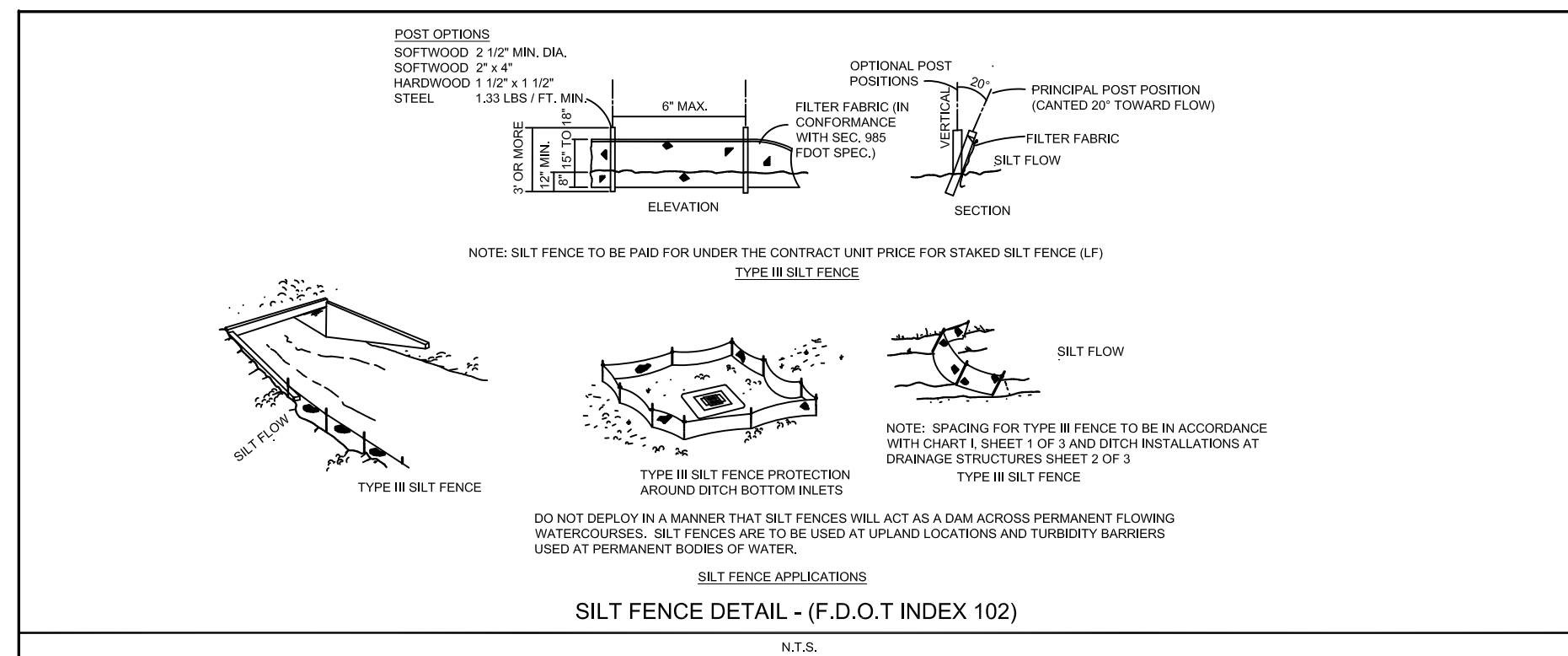
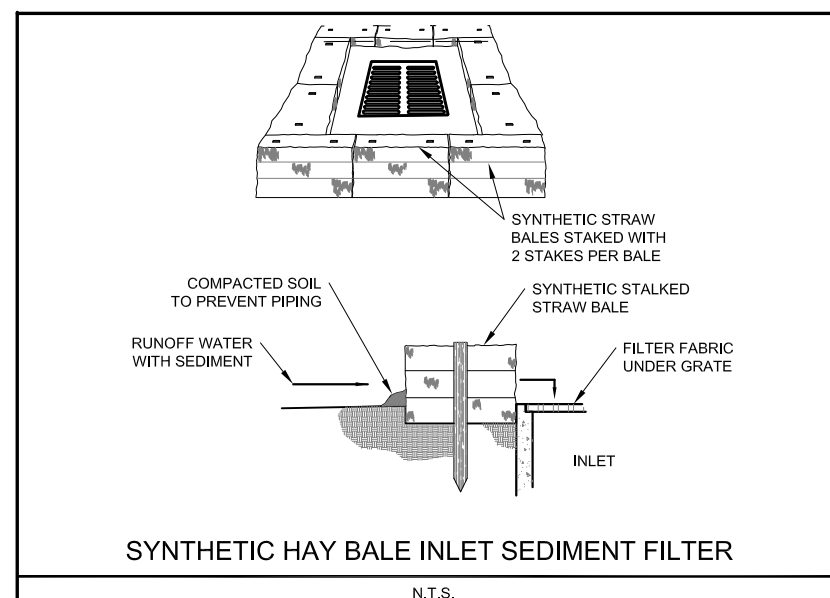
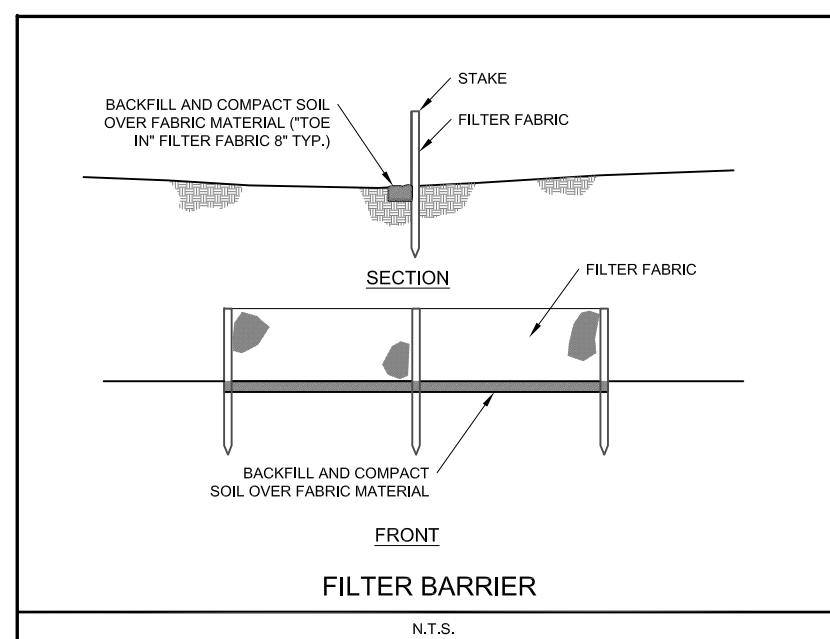
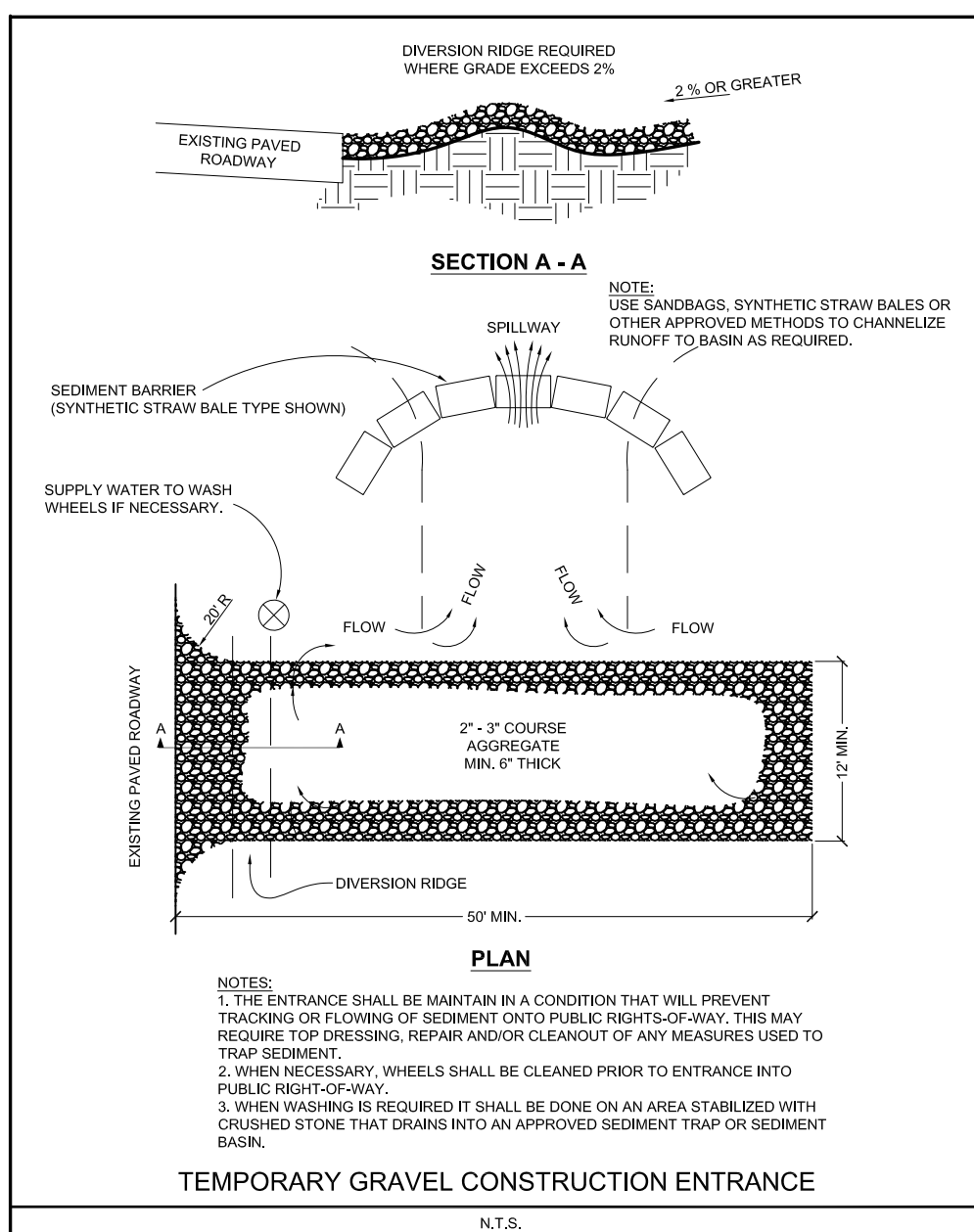
STRAP NOS.: 33-43-24-C1-00001.002A
ADDRESS: 1813 CORBETT ROAD
CAPE CORAL, FLORIDA 33702
ZONED: I (INDUSTRIAL)

LANDUSE: INDUSTRIAL
EXISTING LAND USE: VACANT INDUSTRIAL
SOILS: #50 - OLDSMAR FINE SAND, LIMESTONE SUBSTRATUM
#12 - FELDA FINE SAND

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
2. THE CONTRACTOR SHALL SUPPLEMENT THIS PLAN AS MAY BE REQUIRED TO CONTROL AND REDUCE EROSION BASED ON THE CONTRACTORS MEANS, METHODS AND TECHNIQUE OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO FILE A NPDES NOTICE OF INTENT WITH THE EPA AND CITY OF CAPE CORAL DEVELOPMENT SERVICE DIVISION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT LEE COUNTY NPDES STORMWATER REVIEWER PRIOR TO ANY DEWATERING OPERATIONS.
4. ALL PROPOSED AND EXISTING INLETS SUBJECT TO SEDIMENTATION SHALL BE COVER WITH FILTER FABRIC (HELD IN PLACE BY THE GRATE).


NOTE: THESE DETAILS REPRESENT TYPICAL BEST MANAGEMENT PRACTICES FOR SOIL EROSION CONTROL. THEY MAY NOT SATISFY ALL REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND/OR SPECIFIC PERMIT CONDITIONS.

	SYNTHETIC STRAW BALE		INLET FABRIC PROTECTIONS
	STAKED SILT FENCE PH1		SYNTHETIC STRAW STAKED HAY BALE @ INLETS



DATE	REVISION DESCRIPTION
04/20/23	Revised Oblique Orientation

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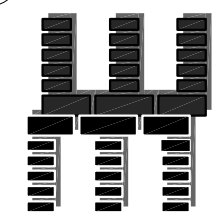
JASON P. WHITE
FLA REG P.E. #20920

DATE _____

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REGISTERED ENGINEERS SEAL

Exceptional Engineering, Inc.

P.O. Box 2980, Ft. Myers, FL 33902
Tel. (239) 340-9816 | Fax. (239) 347-6992
JasonW@exceptionaleng.com
Business Cert # 25968



Date : 10-27-20
Scale : 1" = 30'
Design: J.P.W.
CAD : J.R.B.
Check : J.P.W.
File : 20-72-C003a

SWP3

1813 CORBETT ROAD
CAPE CORAL, FLORIDA

CC HOME BUILDERS, LLC:

1813 CORBETT ROAD, CAPE CORAL, FLORIDA 33909

SHEET #
SWP3
JOB # 20-72
FOR REVIEW ONLY