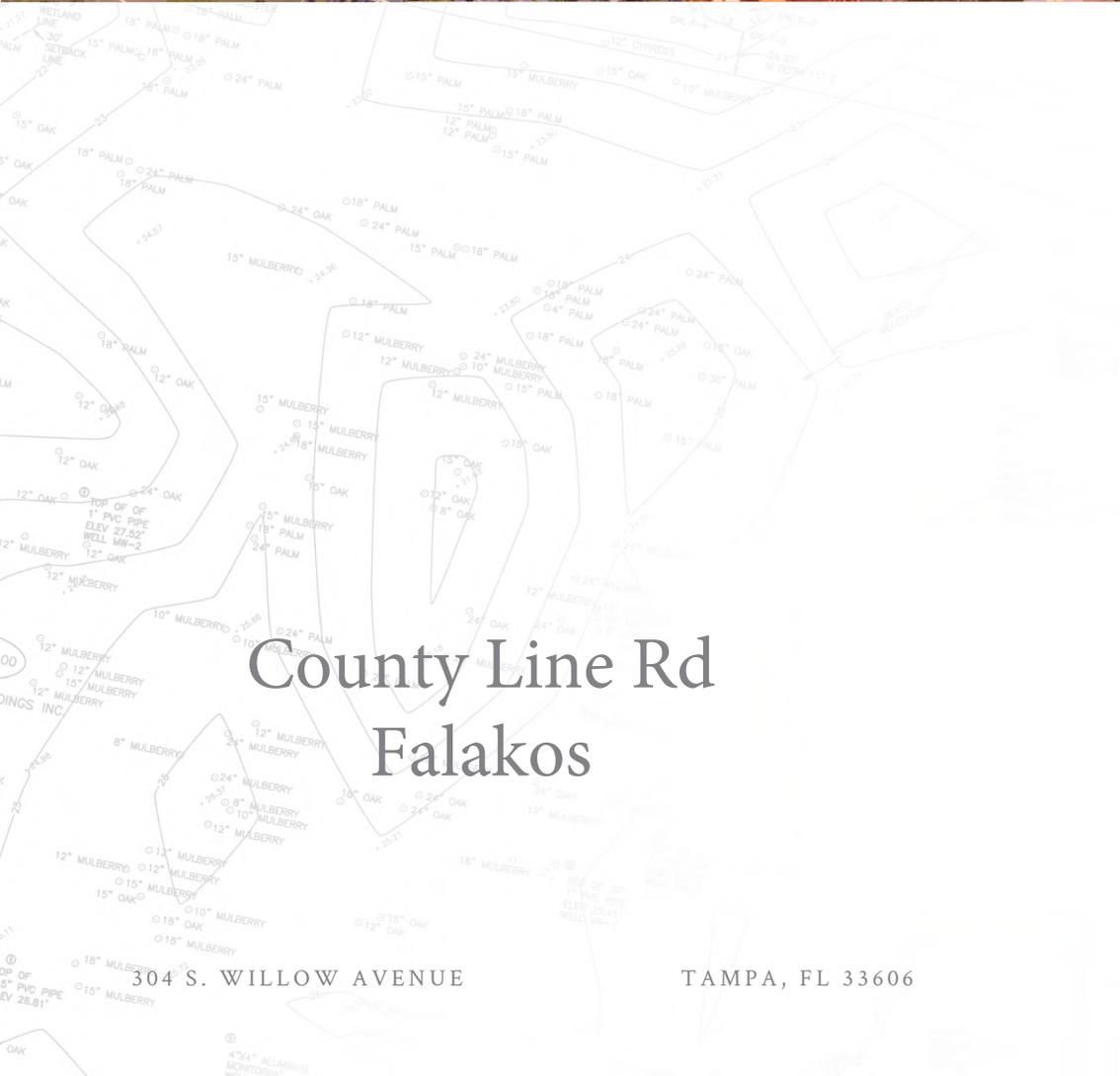


We know this land.



County Line Rd
Falakos

Eshenbaugh

LAND COMPANY



The Dirt Dog

304 S. WILLOW AVENUE

TAMPA, FL 33606

813.287.8787

www.thedirtdog.com

Overview



Property Description

PROPERTY DESCRIPTION

The opportunity is to purchase 9.8± acres situated nicely on County Line Rd in Brooksville, FL. Currently zoned AG, the property holds the potential for rezoning to accommodate various residential purposes, with a preference for townhome development.

LOCATION DESCRIPTION

Strategically positioned along the Hernando and Pasco County Line, and less than a mile east of Suncoast Parkway, this site boasts easy access to key north/south routes. Moreover, it enjoys close proximity to a range of new developments featuring single-family detached homes, townhomes, and apartments. Nearby, a diverse selection of retail amenities awaits, with a Publix grocery store conveniently located approximately a mile to the west. Furthermore, for added convenience, the site is just a 35± minute drive from Tampa International Airport.

MUNICIPALITY

Hernando County

PROPERTY SIZE

9.8 Acres

FUTURE LAND USE

Residential

PARCEL ID

R3542318000001900000

PRICE

\$2,000,000

BROKER CONTACT INFO

Tyler Woody

Sales Associate

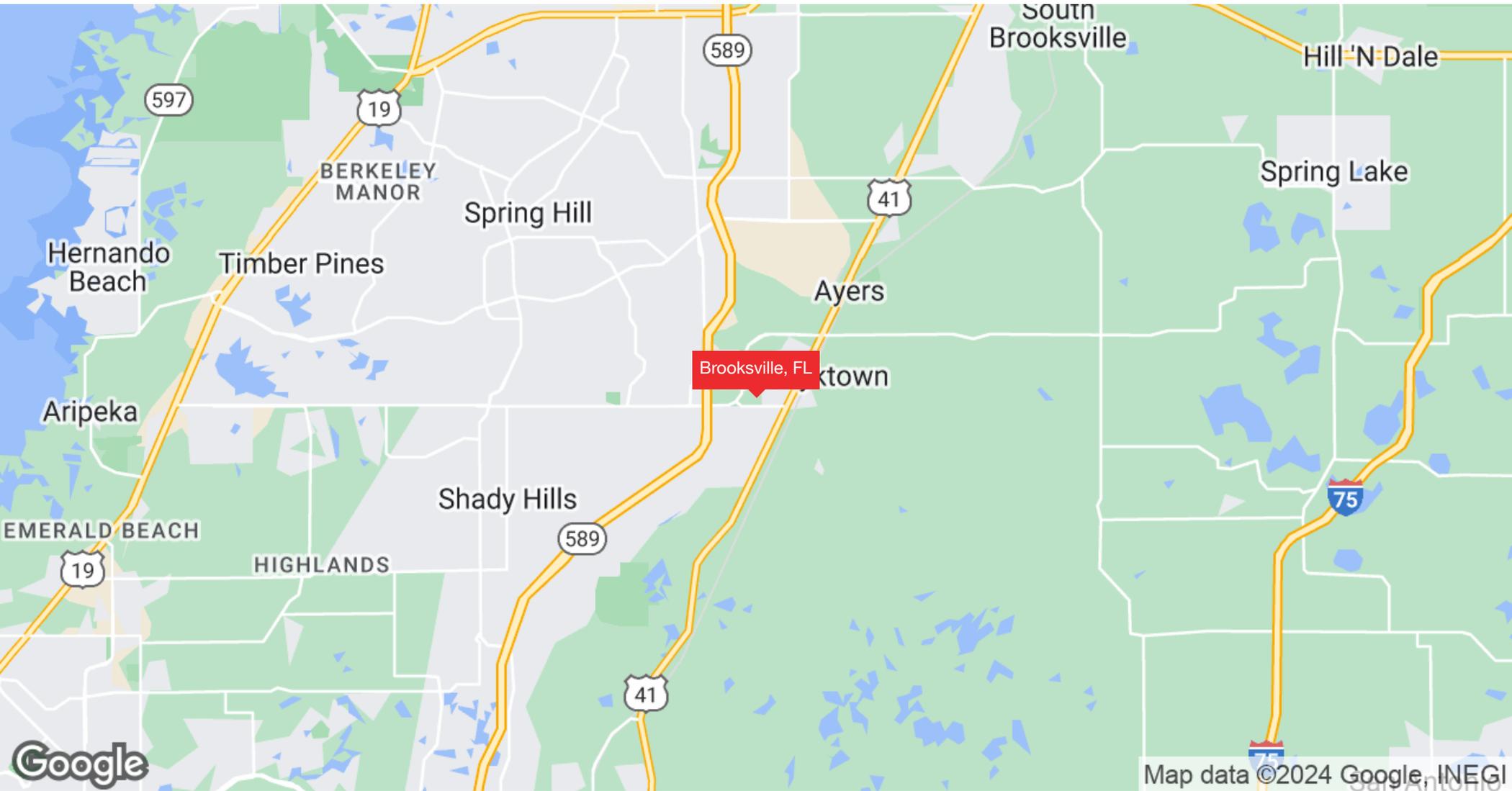
813.287.8787 x11

Tyler@TheDirtDog.com

Surrounding Projects



Regional Map



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Legal questions should be discussed by the party with an attorney. Tax questions should be discussed by the party with a certified public accountant or tax attorney. Title questions should be discussed by the party with a title officer or attorney. Questions regarding the condition of the property and whether the property complies with applicable governmental requirements should be discussed by the party with appropriate engineers, architects, contractors, other consultants and governmental agencies. All properties and services are marketed by Eshenbaugh Land Company, LLC in compliance with all applicable fair housing and equal opportunity laws.

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