

55 RESERVOIR RD, VERNON, CT

Proposed: Flex Space, Self Storage, or Last Mile Warehouse



FOR SALE: \$3,000,000

- ⇒ Zone: PDZ - "Planned Development Zone - I-84, Exit 67 Area"
- ⇒ Acres: 40.55
- ⇒ Abuts Burger King
- ⇒ Public Water & Sewer
- ⇒ Visibility / Frontage on I-84
- ⇒ Traffic Count: 21,500 on Reservoir Rd.
- ⇒ Traffic Count: 74,000 on I-84
- ⇒ Existing road through entire parcel

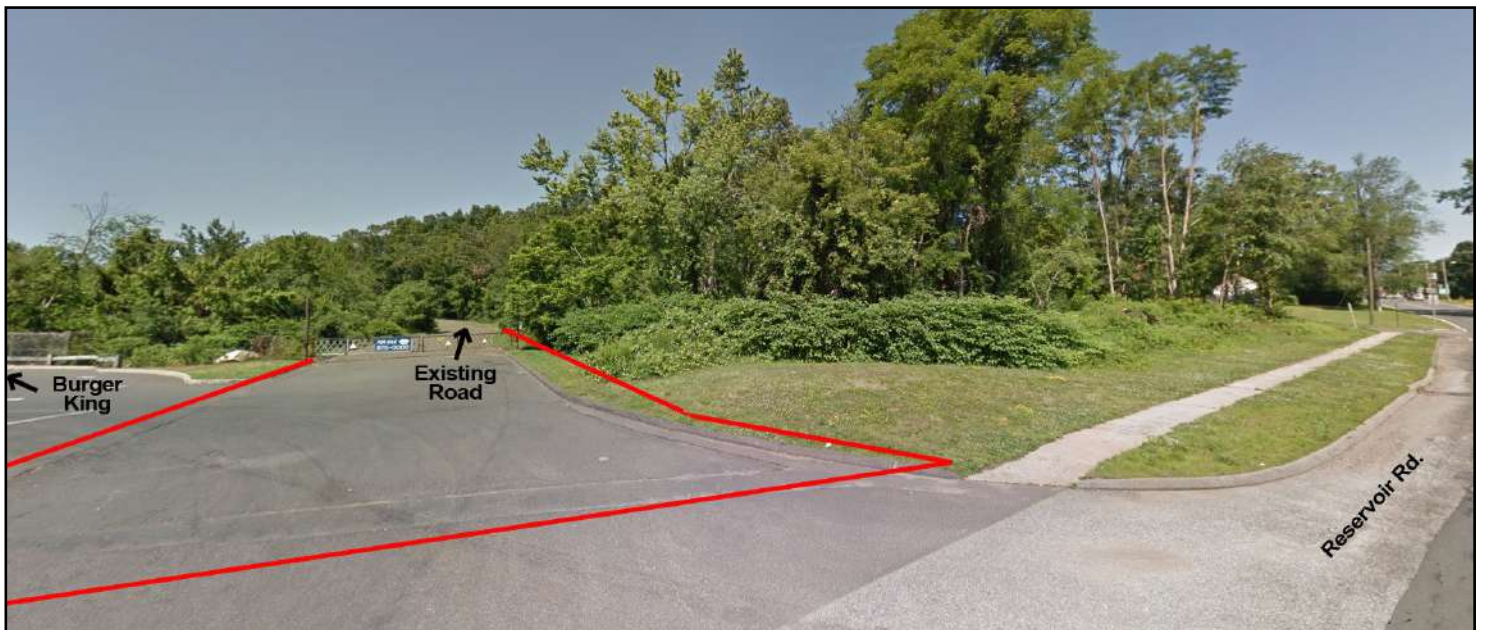
Demographics	1 MILE	3 MILES	5 MILES
Total Population	5,522	29,878	62,336
Total Households	2,541	12,759	25,606
Average Household Income	\$70,693	\$80,779	\$96,749

LYMAN

REAL ESTATE BROKERAGE & DEVELOPMENT
www.LymanRE.com

RON LYMAN

Main Office:
1160 Boston Post Rd.
Westbrook, CT 06498
Mailing Address:
73 Second Ave.
Westbrook, CT 06498
860-887-5000 x1 Office
860-884-4666 Cell
ronl@lymanre.com



All information stated is from sources deemed reliable and is submitted subject to errors, omission, changes of other terms and conditions, prior sales, financing or withdrawal without notice. Buyer/Tenant agents will be eligible for a portion of commission only if they have an existing signed representation.

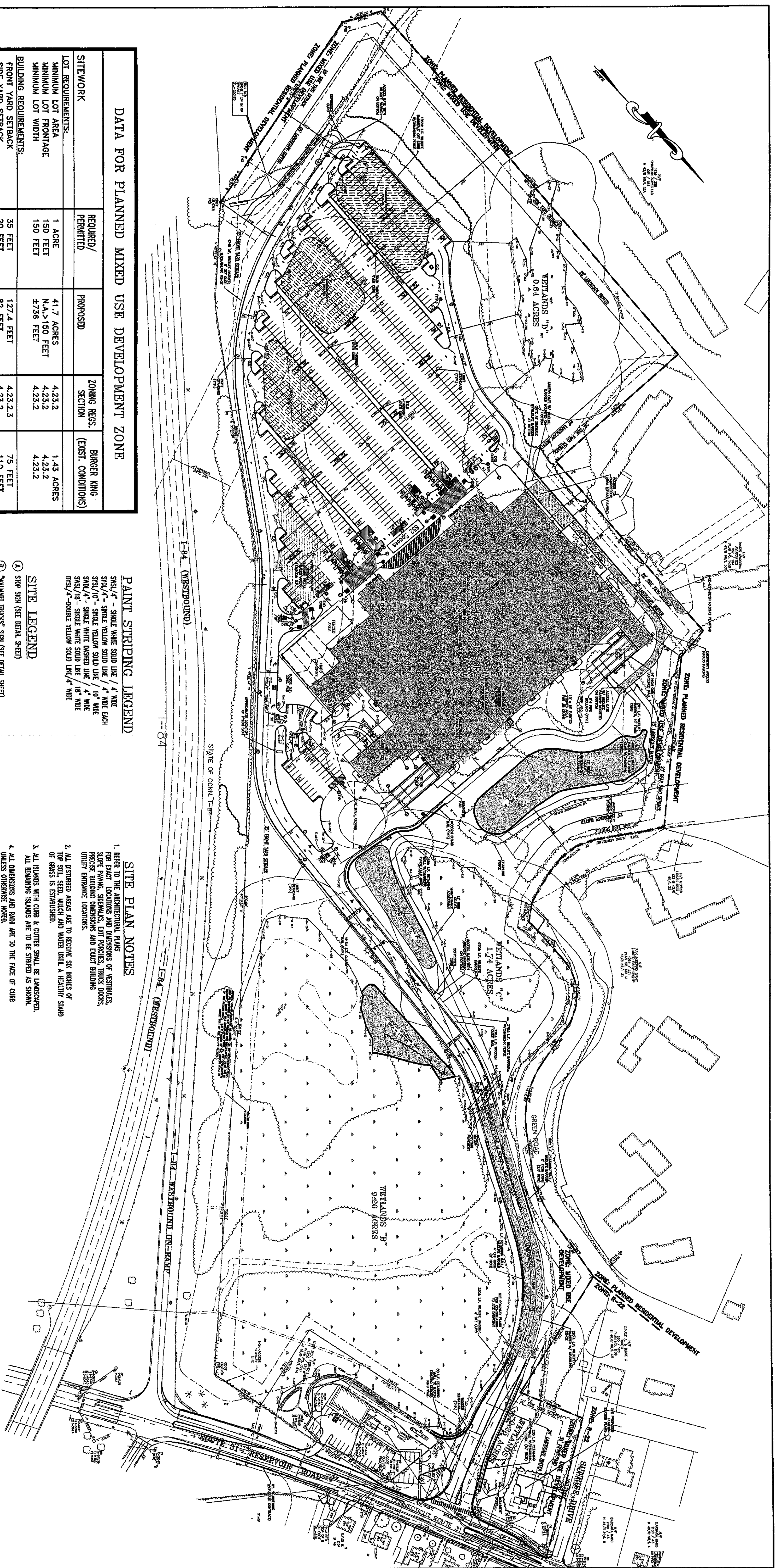


PDZ - Planned Development Zone – I-84, Exit 67 Area

Allowed uses by Special Permit:

- **Manufacturing, storing, printing, publishing, processing, fabricating and packaging**
- **Single-and two-family structures**
- **Multiple, single-family and multi-family dwellings**
- **Hotels, motels, conference and convention centers, indoor theaters, and museums**
- **Research and experimental laboratories, veterinary hospitals and animal care services (excluding kennels), and medical facilities**
- **Full-service restaurants**
- **Professional office buildings, general office buildings, and office parks**
- **Retail sales and services when the lots have frontage on a State highway**
- **Drive-up service window by approval of both a Site Plan and a Special Permit**
- **Recreation facilities, education facilities, religious facilities and cultural, non-profits**
- **Plumbing, heating, electrical, industrial, and general contracting establishments, which may include showrooms**





DATA FOR PLANNED MIXED USE DEVELOPMENT ZONE				
SITENWORK	REQUIRED/ PERMITTED	PROPOSED	ZONING RES. SECTION	BURGER KING (EXST. CONDITIONS)
LOT REQUIREMENTS:				
MINIMUM LOT AREA	1 ACRE	41.7 ACRES	4.23.2	1.43 ACRES
MINIMUM LOT FRONTAGE	150 FEET	N.A.>150 FEET	4.23.2	4.23.2
MINIMUM LOT WIDTH	150 FEET	4736 FEET	4.23.2	4.23.2
BUILDING REQUIREMENTS:				
FRONT YARD SETBACK	35 FEET	127.4 FEET	4.23.2.3	75 FEET
SIDE YARD SETBACK	20 FEET	82 FEET	4.23.2	110 FEET
REAR YARD SETBACK	20 FEET	46 FEET	4.23.2	59 FEET
MAXIMUM LOT COVERAGE	60%	44%	4.23.4.11	41%
MAXIMUM BUILDING HEIGHT	3 STORIES OR 40 FEET	1 STORY-28 FEET	4.23.4.11	-
LOADING SPACE REQUIREMENTS				
MINIMUM LENGTH	25 FEET	80 FEET	12.3.6	-
MINIMUM WIDTH	10 FEET	20 FEET	12.3.6	-
MINIMUM HEIGHT	14 FEET	14 FEET	12.2	-
MINIMUM NUMBER (50,000-150,000 SF=3 SPACES) (EACH ADD. 50,000 SF=1 SPACE)	4 SPACES	6 SPACES	12.3.6	-
PARKING REQUIREMENTS:				
MINIMUM STALL SIZE:				
MINIMUM AISLE WIDTH	9 FT.x17 FT.	9 FT.x18 FT.	12.3	-
90° PARKING STALL ANGLE	24 FEET	24 FEET	12.3.8	-
NUMBER OF PARKING SPACES	4 PER 1000 SF. (745)	892 SPACES, 4.36/1000 SF)	12.1	45
HANDICAP SPACES	2% OF TOTAL SPACES (18)	21 SPACES		
PARKING SETBACK FROM OR ROW	10 FEET	11 FEET	12.3	-
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL ZONE	25 FEET	25 FEET	9.1	-
SIGN REQUIREMENTS				
SETBACK FROM P.L./ROW	10 FEET	10 FEET	16.1.5	-
MAXIMUM HEIGHT	40 FEET	30 FEET	16.1.6	-
FREESTANDING SIGNS	2	2	16.3.3	-
SIZE OF FIRST SIGN	80 S.F./FACE	80 S.F./FACE	16.3.3	-
SIZE OF SECOND SIGN	200 S.F./FACE	90 S.F./FACE	16.3.3	-
BUILDING SIGNS	2 S.F./L.F.	<2 S.F./L.F.	16.3.2	-

STYL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SIND/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SWSL/18" - SINGLE WHITE SOLID LINE / 18" WIDE
 DSYL/4" - DOUBLE YELLOW SOLID LINE/ 4" WIDE

☐ B "WALMART TRUCKS" SIGN (SEE DETAIL SHEET)
☐ C "NO EXIT" (SEE DETAIL SHEET)
☐ D "DELIVERY TRUCKS ONLY" (SEE DETAIL SHEET)

FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOP SOIL, SEED, MULCH AND WATER UNTIL A GREEN STABLE GRASS IS ESTABLISHED.
3. ALL RELAINS WITH CURB & GUTTER SHALL BE LANDSCAPED. ALL REMAINING SLOPES ARE TO BE STERPED AS SHOWN.
4. ALL DIMENSIONS AND SLOPES ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY OR AS SHOWN.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED BY THE TOWN OF VERONA SPECIFICATIONS AS FORWARDED BY THE LAND USE COMMISSION.
7. TOTAL LAND AREA IS 41.7± ACRES.

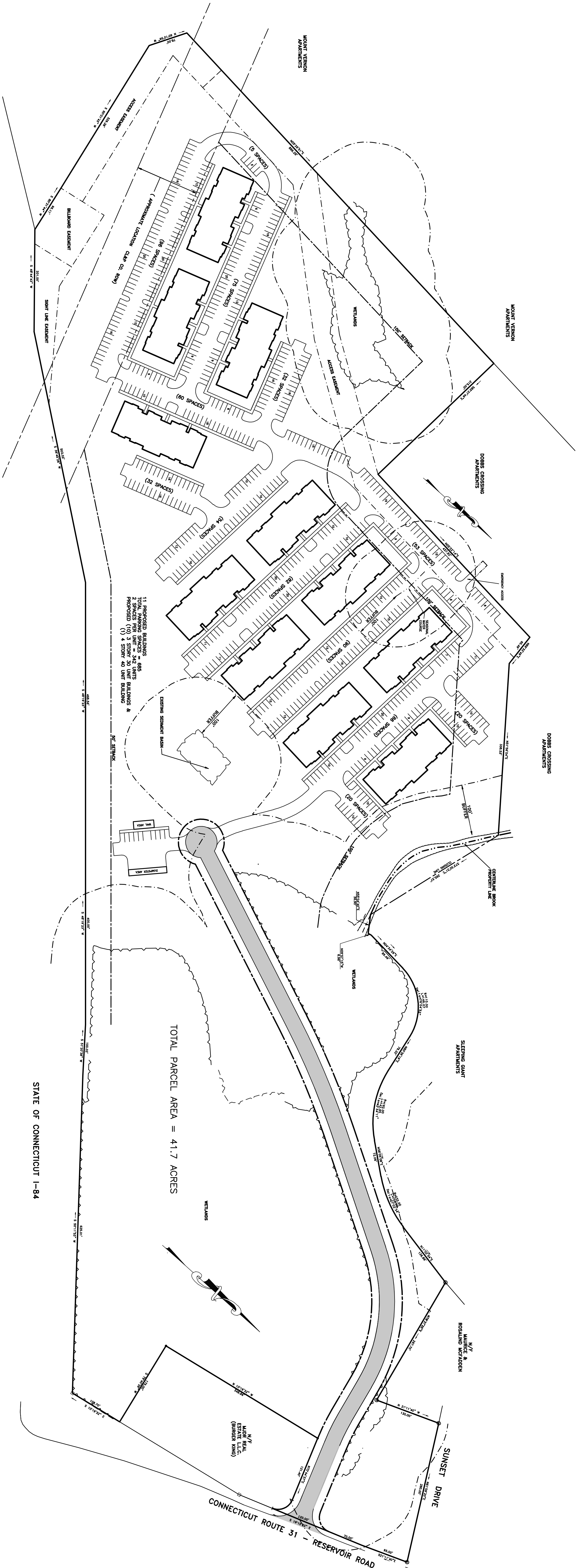
PROPOSED PARKING COUNTS

-
 CHAINLINK FENCE
-
 GUARD RAIL

- ☒ TRANSFORMER
CONCRETE CURB
C.C.
☐
☐ • ☐ LIGHT STANDARD

- ② PAINTED ISLAND TYPICAL, UNLESS OTHERWISE NOTED, STRIPS SHALL BE PAINTED STRIP/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE (SEE DETAIL SHEET)
- ③ 2'-0" LOADING ZONE AT ALL CORRED PARKING SPACES, 4" YELLOW STRIPES AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE (SEE DETAIL SHEET)
- ④ STRIPED TURN MUST TURN RIGHT (SEE DETAIL SHEET)
- ⑤ 4" X 120' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES
- ⑥ 4" WIDE FIRE LANE STRIPING PAINTED TRUCKS RED W/ 4" NO PARKING FIRE LANE PAINTED
- ⑦ 4" X 4" HIGH WHITE STRIPES AT 25' O.C. (SEE DETAIL SHEET)
- ⑧ 6" X 6" RPE ROLLER TYPICAL, UNLESS NOTED OTHERWISE. (SEE DETAIL SHEET)
- ⑨ 12'-0" WIDE PAINTED CROSSWALK WITH 4" PAINTED WHITE STRIPING 2'-0" O.C. PARALLEL TO THE DIRECTION OF TRAFFIC.

1. BUILDING SQUARE FOOTAGE INCLUDES TILE AND SEASONAL GARDEN CENTER AND EXTENDED REAR DOCK (TOTAL=2188,216 S.F.).
2. ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING.
3. FLOOD ZONE CLASSIFICATION:
ZONE X(A&B) TO BE DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN)
ZONE A(A&B) DETERMINED TO BE INSIDE 100-YEAR FLOODPLAIN)
FORM PANEL NO. 090131 0005C, REVISED AUGUST 9, 1999.



STATE OF CONNECTICUT I-84

STATE OF CONNECTICUT I-84

TOTAL PARCEL AREA = 41.7 ACRES



GRAPHIC SCALE 1"=100'

MAP REFERENCE:

1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL MILE HILL ROAD- ROUTE 31 VERNON, CONN. DATE: FEB.1990 SCALE:1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91, 9-10-93, 10-8-93, & 10-18-93 BY A R LOMBARDI ASSOCIATES...
2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF BETTY G. REIN CONN. ROUTE #31 VERNON, CONNECTICUT DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDI ASSOCIATES, INC. ...
3. "GENERAL LOCTION SURVEY WETLANDS REDESIGNATION PREPARED FOR RICHARD LEE & STEPHEN LAMONT VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20. MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPIATION SURVEY BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D"
- THIS PLAN WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. HORIZONTAL DATUM BASED ON C.G.S.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

LS 10839

REGISTRATION NO.

COMPIATION PLAN

CONCEPTUAL LAYOUT #1

PREPARED FOR

LEE & LAMONT REALTY

#65 RESERVOIR ROAD

VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
B.D.C.	1"=100'	4-12-2016	1 OF 2	9550-LEE3

- MAP REFERENCE:
1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL
MILE HILL ROAD- ROUTE 31 VERNON, CONN. DATE: FEB.1990
SCALE:1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91,
9-19-93, 10-6-93, & 10-18-93 BY A R LOMBARDI
ASSOCIATES,...
 2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF
BETTY G. REN, CONN, ROUTE #31 VERNON, CONNECTICUT
DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDI
ASSOCIATES, INC., ...
 3. "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION
PREPARED FOR RICHARD LEE & STEPHEN LAMONT VERNON,
CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE:
1"=100' DATED: 5-24-2000

MOUNT VERNON
APARTMENTS

DOBBS CROSSING
APARTMENTS

EMERGENCY ACCESS

CENTRINE BROOK
PROPERTY LINE

WETLANDS

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

- 11 PROPOSED BUILDINGS
TOTAL PARKING SPACES = 685
2 SPACES PER UNIT = 342 UNITS
PROPOSED (10) 3 STORY 30 UNIT BUILDINGS &
(1) 4 STORY 40 UNIT BUILDING

EXISTING SEDIMENT BASIN

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

100' BUFFER

50' SETBACK

MAIL AREA

DUMPSITE AREA

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

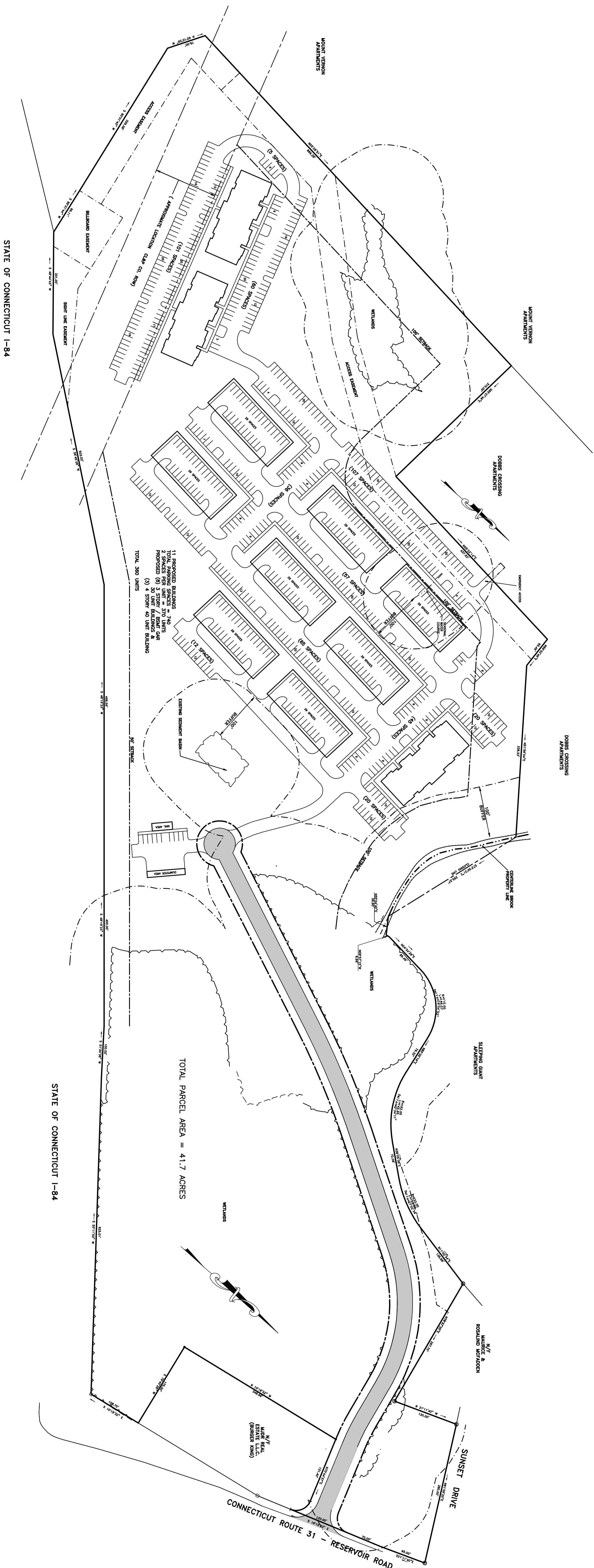
50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK

50' SETBACK



COMPILATION PLAN

CONCEPTUAL LAYOUT #2
PREPARED FOR

LBE & LAMONT REALTY
#65 RESERVOIR ROAD
VERNON, CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

Kenneth R. Peterson

KENNETH R. PETERSON

REVISIONS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
B.D.C.	1"=100'	4-12-2016	1 OF 2	9550-LTS

LS 10839

REGISTRATION NO.

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

- MAP REFERENCE:
1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL MILE HILL ROAD- ROUTE 31 VERNON, CONN. DATE: FEB.1990 SCALE:1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91, 9-15-93, 10-6-93, & 10-18-93 BY A R LOMBARDI ASSOCIATES,...
 2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF BETTY G. REIN CONN. ROUTE #31 VERNON, CONNECTICUT DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDI ASSOCIATES, INC. ...
 3. "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION PREPARED FOR RICHARD JEE & STEPHEN LAMONT VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

MOUNT VERNON
APARTMENTS

DOBBS CROSSING
APARTMENTS

EMERGENCY ACCESS

CENTERLINE BROOK
PROPERTY LINE

WETLANDS

ACCESS EASEMENT

ACCESS EASEMENT
329.387
S 89°01'43" W

BILLBOARD EASEMENT
86.114
S 88°31'44" W

SIGHT LINE EASEMENT
201.007
S 48°44'43" W

- 11 PROPOSED BUILDINGS
TOTAL PARKING SPACES = 740
2 SPACES PER UNIT = 370 UNITS
PROPOSED (8) 3 STORY / BSMT GAR
30 UNIT BUILDINGS &
(3) 4 STORY 40 UNIT BUILDING
TOTAL 360 UNITS

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-1 THROUGH 20-300-20, MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPILATION SURVEY BASED ON A MAP REFERENCED HEREIN AND CONFORMS TO CLASS "D" THIS PLAN WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSIDERED AS A FINAL SURVEY AND NO WARRANTIES ARE MADE BY SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. HORIZONTAL DATUM BASED ON C.G.S.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

LS 10839
REGISTRATION NO.

COMPIATION PLAN

CONCEPTUAL LAYOUT #2
PREPARED FOR

LBE & LAMONT REALTY
#65 RESERVOIR ROAD
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

REVISIONS		BY		DATE		SHEET NO.		MAP NO.	

B.D.C.

SCALE

1"=50'

DATE

4-12-2016

2 OF 2

9550-LEES



9550-C/9550-LEE3

- MAP REFERENCE:
1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL MILE HILL ROAD- ROUTE 31 VERNON, CONN. DATE: FEB.1990 SCALE:1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91, 9-15-93, 10-6-93, & 10-18-93 BY A R LOMBARDI ASSOCIATES,...
 2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF BETTY G. REIN CONN. ROUTE #31 VERNON, CONNECTICUT DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDI ASSOCIATES, INC. ...
 3. "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION PREPARED FOR RICHARD TEE & STEPHEN LAMONT VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

MOUNT VERNON APARTMENTS

DOBBS CROSSING APARTMENTS

CENTRELINE BROOK PROPERTY LINE

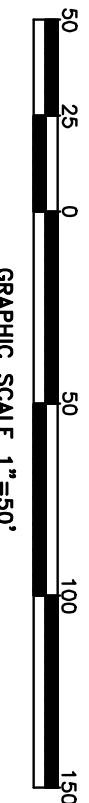
WETLANDS

ACCESS EASEMENT

ACCESS EASEMENT
329.38' S 89°01'43" W
86.11' S 88°31'44" W
201.00' S 48°44'43" W

BILLBOARD EASEMENT

SIGHT LINE EASEMENT



TOTAL PARKING SPACES = 620
2 SPACES PER UNIT = 310 UNITS
PROPOSED (4) 4 STORY 40 UNIT BUILDINGS &
(5) 3 STORY 30 UNIT BUILDINGS

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300a-1 THROUGH 20-300b-20, MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPILATION SURVEY BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D" THIS PLAN WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSIDERED AS A FINAL SURVEY AND NO WARRANTIES ARE MADE BY SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. HORIZONTAL DATUM BASED ON C.G.S.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

LS 10839
REGISTRATION NO.

COMPIATION PLAN

CONCEPTUAL LAYOUT
PREPARED FOR

LBE & LAMONT REALTY
#65 RESERVOIR ROAD
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

REVISIONS

BY	SCALE	DATE	SHEET NO.	MAP NO.
B.D.C.	1"=50'	4-12-2016	2 OF 2	9550-LEE1

PROFESSIONAL ENGINEERS LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

458.55' S 48°19'23" W

458.55' S 48°19'23" W

400.00' S 48°19'23"

50' SETBACK

EXISTING SEDIMENT BASIN

100' BUFFER

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

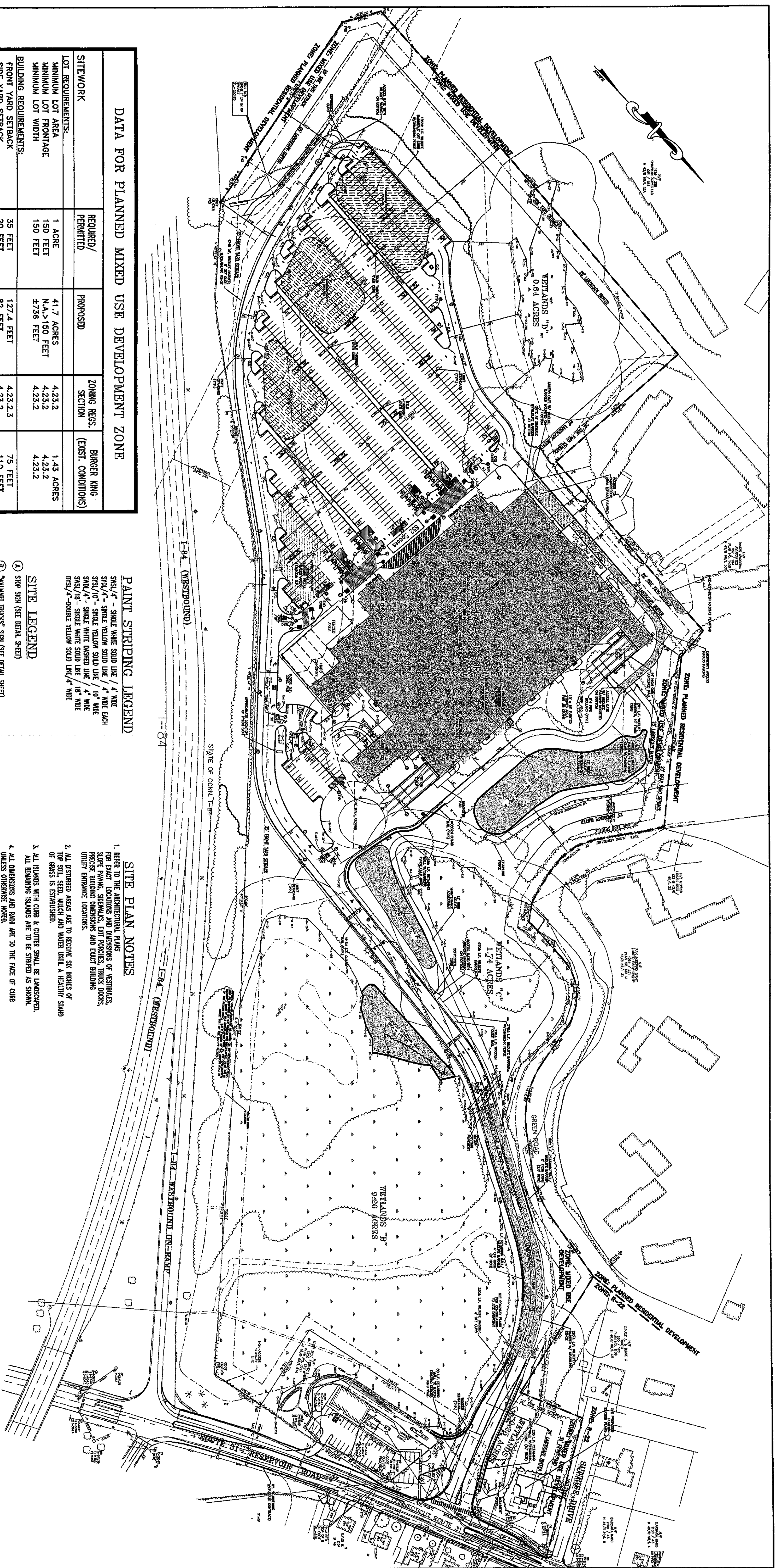
100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK

100' SETBACK



DATA FOR PLANNED MIXED USE DEVELOPMENT ZONE				
SITENWORK	REQUIRED/ PERMITTED	PROPOSED	ZONING RES. SECTION	BURGER KING (EXST. CONDITIONS)
LOT REQUIREMENTS:				
MINIMUM LOT AREA	1 ACRE	41.7 ACRES	4.23.2	1.43 ACRES
MINIMUM LOT FRONTAGE	150 FEET	N.A.>150 FEET	4.23.2	4.23.2
MINIMUM LOT WIDTH	150 FEET	4736 FEET	4.23.2	4.23.2
BUILDING REQUIREMENTS:				
FRONT YARD SETBACK	35 FEET	127.4 FEET	4.23.2.3	75 FEET
SIDE YARD SETBACK	20 FEET	82 FEET	4.23.2	110 FEET
REAR YARD SETBACK	20 FEET	46 FEET	4.23.2	59 FEET
MAXIMUM LOT COVERAGE	60%	44%	4.23.4.11	41%
MAXIMUM BUILDING HEIGHT	3 STORIES OR 40 FEET	1 STORY-28 FEET	4.23.4.11	-
LOADING SPACE REQUIREMENTS				
MINIMUM LENGTH	25 FEET	80 FEET	12.3.6	-
MINIMUM WIDTH	10 FEET	20 FEET	12.3.6	-
MINIMUM HEIGHT	14 FEET	14 FEET	12.2	-
MINIMUM NUMBER (50,000-150,000 SF=3 SPACES) (EACH ADD. 50,000 SF=1 SPACE)	4 SPACES	6 SPACES	12.3.6	-
PARKING REQUIREMENTS:				
MINIMUM STALL SIZE:				
MINIMUM STALL WIDTH	9 FT.x17 FT.	9 FT.x18 FT.	12.3	-
90° PARKING STALL ANGLE	24 FEET	24 FEET	12.3.8	-
NUMBER OF PARKING SPACES	4 PER 1000 SF. (745)	892 SPACES, 4.36/1000 SF)	12.1	45
HANDICAP SPACES	2% OF TOTAL SPACES (18)	21 SPACES		
PARKING SETBACK FROM OR ROW	10 FEET	11 FEET	12.3	-
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL ZONE	25 FEET	25 FEET	9.1	-
SIGN REQUIREMENTS				
SETBACK FROM P.L./ROW	10 FEET	10 FEET	16.1.5	-
MAXIMUM HEIGHT	40 FEET	30 FEET	16.1.6	-
FREESTANDING SIGNS	2	2	16.3.3	-
SIZE OF FIRST SIGN	80 S.F./FACE	80 S.F./FACE	16.3.3	-
SIZE OF SECOND SIGN	200 S.F./FACE	90 S.F./FACE	16.3.3	-
BUILDING SIGNS	2 S.F./L.F.	<2 S.F./L.F.	16.3.2	-



STYL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
STYL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
SMD/4" - SINGLE WHITE DASHED LINE / 4" WIDE
SWS/18" - SINGLE WHITE SOLID LINE / 18" WIDE
DYS/4" - DOUBLE YELLOW SOLID LINE/4" WIDE

(B) "WALMART TRUCKS" SIGN (SEE DETAIL SHEET)

FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES,
SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS
PRECISE BUILDING DIMENSIONS AND EXACT BUILDING
UTILITY ENTRANCE LOCATIONS.

2. ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOP SOIL, SEED, MULCH AND WATER UNTIL A GREEN STABLE GRASS IS ESTABLISHED.
3. ALL RELAINS WITH CURB & GUTTER SHALL BE LANDSCAPED. ALL REMAINING SLOPES ARE TO BE STERPED AS SHOWN.
4. ALL DIMENSIONS AND SLOPES ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY OR AS SHOWN.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED BY THE TOWN OF VERONA SPECIFICATIONS AS APPROVED BY THE LAND USE COMMISSION.
7. TOTAL LAND AREA IS 41.7± ACRES.

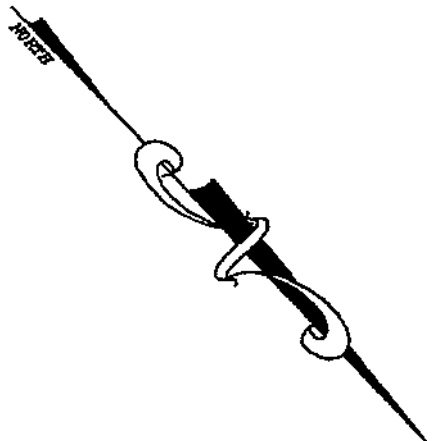
PROPOSED PARKING COUNTS

- 

- CHAINLINK FENCE
 GUARD RAIL

- ☒ TRANSFORMER
C.C. CONCRETE CURB
☐
☐ LIGHT STANDARD

- ② PAINTED ISLAND TYPICAL, UNLESS OTHERWISE NOTED, STRIPS SHALL BE PAINTED STRIP/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE (SEE DETAIL SHEET)
- ③ 2'-0" LOADING ZONE AT ALL CORNER PARKING SPACES, 4" YELLOW STRIPES AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE (SEE DETAIL SHEET)
- ④ STRIPED TURN MUST TURN RIGHT (SEE DETAIL SHEET)
- ⑤ 4" X 120' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES
- ⑥ 4" WIDE FIRE LANE STRIPING PAINTED TRUCKS RED W/ "NO PARKING FIRE LANE" PAINTING
- ⑦ 4" X 4" HIGH WHITE STRIPES AT 25' O.C. (SEE DETAIL SHEET)
- ⑧ 6" X 6" RPE ROLLER TYPICAL, UNLESS NOTED OTHERWISE. (SEE DETAIL SHEET)
- ⑨ 12'-0" WIDE PAINTED CROSSWALK WITH 4" PAINTED WHITE STRIPING 2'-0" O.C. PARALLEL TO THE DIRECTION OF TRAFFIC.

1. BUILDING SQUARE FOOTAGE INCLUDES TILE AND SEASONAL GARDEN CENTER AND EXTENDED REAR DOCK (TOTAL=2188,216 S.F.).
2. ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING.
3. FLOOD ZONE CLASSIFICATION:
ZONE X(A&B) TO BE DETERMINED TO BE OUTSIDE 500-YEAR FLOOD(PLAIN)
ZONE A(A&B) DETERMINED TO BE INSIDE 100-YEAR FLOOD(PLAIN)
FORM PANEL NO. 090131 0005C, REVISED AUGUST 9, 1999.



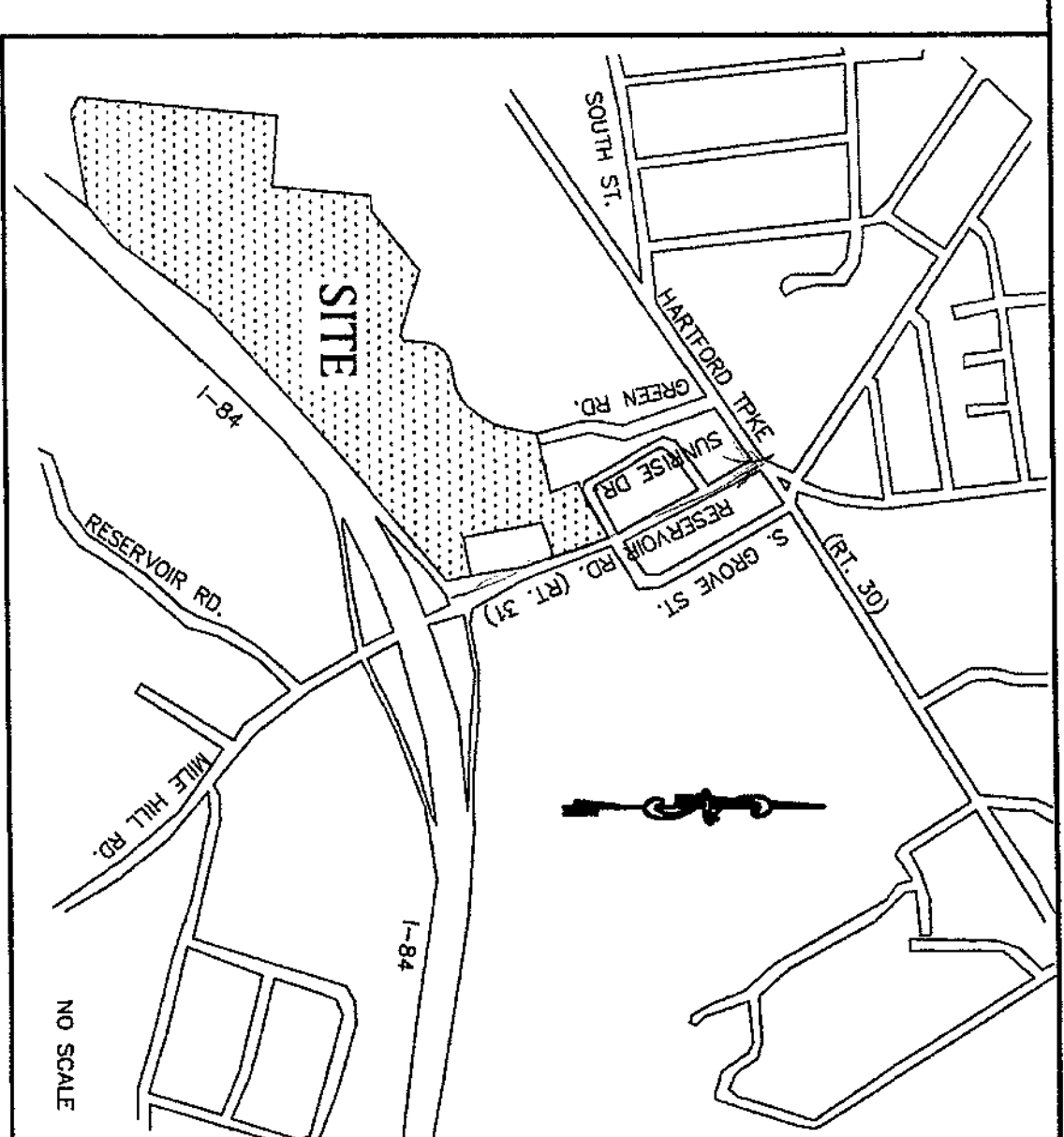
LEGEND

- | | | |
|-----------|---------------------------|----------------------------|
| BT | BITUMINOUS | SPOT GRADE |
| CB | CATCH BASIN | TELEPHONE MANHOLE |
| CLF | CHAIN LINK FENCE | TEST PIT |
| CONC | CONCRETE | TYPE CURB/ROOTING CURB |
| □ CB/DRSK | CONC BOUND W/DRSK | TWIN |
| ☆ | CONCRETE RISE | UTILITY POLE |
| ○ | CONCRETE/PAVED ASPHC PAVE | UTILITY POLE W/LIGHT |
| ○ | DECURB CURVE | UTILITY POLE W/TRANSFORMER |
| ① | DRAIN MANHOLE | |
| ② | ELECTRIC METER | |
| △ | FLARED END INVERT | |
| FND | FOUND | |
| ● | IRON ROD | |
| ☀ | LIGHT POLE | |
| ○ | MANHOLE | |
| M | MAHLE | |
| ○ H | METAL POLE | |
| ○ | OAK | |
| □ | PHONE BOOTH | |
| P | PINE | |
| PWF | POST & WIRE FENCE | |
| ROP | REINFORCED CONCRETE PIPE | |
| △ | SIGN | |

SURVEY NOTES

- 1) THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 10-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- 2) THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A BOUNDARY AND TOPOGRAPHIC SURVEY:
- 3) THE BOUNDARY DETERMINATION / OPINION IS BASED UPON A DEPENDENT SURVEY OF THE MAPS REFERENCED IN NOTE 6:
- 4) THIS SURVEY CONFORMS TO A CLASS A-2 HORIZONTAL ACCURACY AND CLASS T-2 TOPOGRAPHIC ACCURACY:
- 5) BEARINGS AS DEPICTED ARE BASED UPON THE MAP REFERENCED IN NOTE 6. COORDINATES DEPICTED ARE BASED UPON STATE OF CONNECTICUT GEODIC SURVEY DATUM (NAD 1983). BM USED: BEASS DISK 1084, FOUND UNDER CONCRETE WALK AT SPILLWAY/PLUMHOUSE AT END OF SIBNIC LAKE. CONN. WATER DEPT. FACILITY. ELEVATION = 512.59 TBM. SEE PLAN.
- 6) REFERENCES: 1) RECORDED TOWN OF VERNON, CONNECTICUT VOL. 991 / PAGE 242. PLATIN NO. 3961. PLATIN NO. 3956 PLATIN NO. 3394 PLATIN NO. 2481. 1991 ROUTE 44. STATE HIGHWAY LAYOUT NO. 1456-10. 2) TOWN OF VERNON ASSESSOR'S MAP 46, BLOCK 68, LOT 61. 3) PLAN ENTITLED "GENERAL LOCATION SURVEY WETLANDS REDEVELOPMENT, DATED 5-24-2000 BY GARDNER & PETERSON ASSOCIATES.
- 7) TOPOGRAPHIC SURVEY PERFORMED BY THE BSC GROUP BETWEEN JULY 2, 2002 AND SEPTEMBER 6, 2002.
- 8) TOPOGRAPHIC MAPPING SHOWN IS PARTIALLY BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY EASTERN TOPOGRAPHICS OF WOLFORD, NEW HAMPSHIRE.
- 9) WETLAND E SHOWN PER ORIGINAL MAPPING FROM GARDNER PETERSON ASSOCIATES.

LOCUS MAP



SOIL SCIENTIST'S CERTIFICATION

HEREBY CERTIFY THAT THE SOIL MAPPING AND CLASSIFICATION CONDUCTED FOR THIS SITE COMPLIES WITH THE NATIONAL COOPERATIVE SOIL SURVEY AND USDA SOIL CONSERVATION SERVICE STANDARDS. THE WETLAND/WATERCOURSE BOUNDARIES DEPICTED ON THIS PLAN ARE SUBSTANTIALLY CORRECT AND IN COMPLIANCE WITH THE CONNECTICUT INLAND AND WATERCOURSES ACT (SECTION 22A-36 TO 22A-45) OF THE CONNECTICUT GENERAL STATUTES.

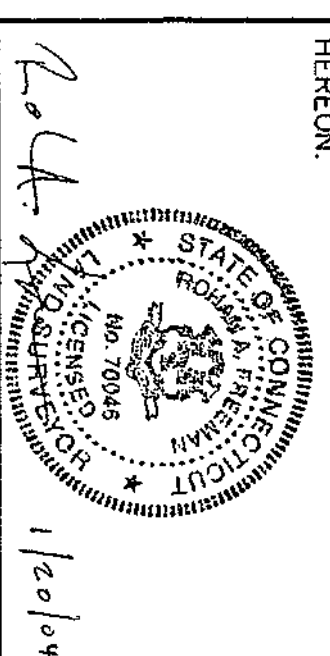
PHIL LONDON
SOIL SCIENTIST
SOCIETY OF SOIL SCIENTISTS OF SOUTHERN NEW ENGLAND

AREA = 1817.453 S.F.
(41.723 AC. ±)

REVISION:[illegible]

**OWNER OF 75 RESERVOIR ROAD:
LEE & LAMONT REALTY
40 WEST STREET, SUITE 10
VERNON, CONNECTICUT 06066**
**OWNER OF 65 RESERVOIR ROAD:
MJDR REAL ESTATE, LLC
874 SILAS DEANE HIGHWAY
WETHERSFIELD, CONNECTICUT 06109**

TO MY KNOWLEDGE AND BELIEF, THIS MAIL IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



ROHAN A. FREEMAN, P.E., L.S. DATE _____
CONNECTICUT LAND SURVEYOR LIC. # 70046

SITE PLAN

FOR

VERNON RETAIL DEVELOPMENT

AT
65 & 75 RESERVOIR RD
TOWN OF VERNON
TOLLAND COUNTY, CT
06066

JANUARY 21, 2004

**EXISTING
CONDITIONS
PLAN**

APPLICANT:
W/S DEVELOPMENT ASSOCIATES
1330 BOYLSTON STREET
CHESTNUT HILL, MASSACHUSETTS
02467
(617) 232-8900 Ph



200 Glastonbury Boulevard
Glastonbury, Connecticut
06033

© 2000 The BSC Group, Inc.

SCALE: 1" = 100' HORIZ



FIELD: A. Phillips, Z. Valentin	
CALC./DESIGN: S. Cohen	
DRAWN: S. Cohen	
CHECK: R. Freeman, D. Stamley	
CAD FILE: redesignoptionplant0-30-02.dwg	
DWG. NO:	05.00
JOB NO: 8.3013.00	



- Soil & Wetland Studies
- Ecology • Application Reviews
- Listed Species Surveys • GPS
- Environmental Planning & Management
- Ecological Restoration & Habitat Mitigation
- Expert Testimony • Permitting

December 3, 2023

VIA E-MAIL

Mr. Ron Lyman, CCIM
Lyman Real Estate
1160 Boston Post Road
Westbrook, CT 06498

Re: PRELIMINARY FEASIBILITY STUDY

55 Reservoir Road, Vernon, CT

REMA Job No.: 23-2660-VER58

Dear Mr. Lyman:

At your request, on April 28th, and again on September 22nd, 2023, REMA ECOLOGICAL SERVICES, LLC (REMA), visited the above-referenced property (“the site,” “the study area,”) for the purpose of evaluating regulated resources (i.e., wetlands and/or watercourses) pursuant to the Connecticut General Statutes (Sec. 22a-36, ff.), as well as their potential effect upon any future development project at the site. Prior to our first site visit, we reviewed pertinent on-line, secondary-source data, including the Connecticut soil survey, Town of Vernon GIS data, and both archival and recent aerial photography. We also reviewed plans prepared for the site in the past, including one prepared by VHB, Inc., depicting the delineated wetlands and watercourses.

1.0 Existing Conditions & Past Land Uses

The subject site, which encompasses roughly 40.52 acres, is located to the west of Reservoir Road, and immediately to the northwest of the Interstate 84 transportation corridor, at Interchange 67, in Vernon, CT. In its present state the site is characterized predominately by post-disturbance vegetation throughout most of its extent (i.e., meadows, scrub shrub/vine tangles, young ruderal woods), except for most of the prominent wetland within its



northeastern section, as well as second-growth forest its far southwestern section and other limited areas along its northern boundary.

Review of aerial photographs reveals that the site was in a mostly undisturbed condition until the mid-1970s, coinciding with the reconstruction of Interstate 84 from East Hartford to Sturbridge, MA. The 1986 aerial reveals that the site was annexed and had been excavated to provide sand and gravel materials for the Interstate reconstruction. Even after the Interstate was completed, earth materials processing and extraction continued, especially in the 1990s and the early 2000s. For this latter use, a roadway was constructed providing access from Reservoir Road.

In 2003 all of the wetlands at the site were delineated and surveyed and a commercial application was brought before the Town land use commissions, which ultimately did not attain the necessary permits. At the time, the five (5) delineated wetland areas were officially designated and still appear on the Town of Vernon GIS mapping.

More recently, that is, in 2022, three additional isolated wetlands were delineated on the subject site. However, all three are the result of earthwork that took place in 2012 and 2013 in the far southwestern upland section of the site. This work, which was not completed, trapped surface runoff in depressional areas, resulting in the creation of these three isolated wetland pockets.

2.0 Development Potential

From a wetlands permitting perspective, the southwestern half of the site has potential for development per the Planned Development Zone (PDZ): I-84 Exit #67. Depending on the type of development, the access roadway may have to be improved, necessitating some limited wetland encroachment. The three more recently delineated isolated wetlands, resulting from earthwork and grading, would not likely be an impediment to development, as they are man-made and of low to very low functional quality.

The remaining “original” wetlands (circa 2003), with the exception of one, small, isolated wetland close to the access roadway cul-de-sac, also man-made, would not be impacted by development. This small wetland was constructed originally as a sedimentation/detention basin and could be relocated. An isolated wetland in the far western wooded hillside, which is an active vernal pool habitat, would not be impacted as long as most of its surrounding wooded uplands remain intact.



We should note that none of the four isolated wetlands that could potentially be impacted by proposed development are jurisdictional federal wetlands that would require permitting through the US Army Corps of Engineers and the Connecticut Department of Energy and Environmental Protection (CT DEEP) per Section 404 of the Clean Water Act (CWA). In fact, due to the recent ruling by the Supreme Court of the United States, it is quite possible that none of the site's wetlands would be considered jurisdictional.

Please feel free to contact us if you have any questions.

Respectfully submitted,

REMA ECOLOGICAL SERVICES, LLC



George T. Logan, MS, PWS, CSE
Certified Professional Wetland Scientist
Registered Soil Scientist